

# Public Document Pack



	<b>INFORMAL MID SUFFOLK DEVELOPMENT CONTROL B MEETING</b>
<b>DATE:</b>	<b>WEDNESDAY, 26 JANUARY 2022 9.30 AM</b>
<b>VENUE:</b>	<b>MS TEAMS</b>

<b>Councillors</b>	
<u>Conservative and Independent Group</u> James Caston Peter Gould Kathie Guthrie (Chair) Dave Muller (Vice-Chair)	<u>Green and Liberal Democrat Group</u> Andrew Mellen Mike Norris Andrew Stringer Rowland Warboys

This meeting will be broadcast live to Youtube and will be capable of repeated viewing. The entirety of the meeting will be filmed except for confidential or exempt items. If you attend the meeting in person you will be deemed to have consented to being filmed and that the images and sound recordings could be used for webcasting/ training purposes.

The Council, members of the public and the press may record/film/photograph or broadcast this meeting when the public and the press are not lawfully excluded.

## **AGENDA**

This is an informal meeting of the members of the planning committee to discuss upcoming planning applications and the expected recommendations of officers on them. The meeting will be asked to provide a steer as to the wishes of committee members as a group.

The application will thereafter be determined by the Chief Planning Officer under delegation. In reaching a decision the Chief Planning Officer will have regard to the views expressed informally to him by members of committee as a group.

Committee members will be able to express their support for, or opposition to, a planning application during the discussion but will not be able to vote formally on whether or not to grant planning permission – this will be a decision for the Chief Planning Officer. The applicant, agent, opposers, supporters and other relevant third parties will have the opportunity to participate in these informal discussions.

Page(s)

- 1 **APOLOGIES FOR ABSENCE/SUBSTITUTIONS**
- 2 **TO RECEIVE ANY DECLARATIONS OF PECUNIARY OR NON-PECUNIARY INTEREST BY MEMBERS**

- 3        **DECLARATIONS OF LOBBYING**
- 4        **DECLARATIONS OF PERSONAL SITE VISITS**
- 5        **TO RECEIVE NOTIFICATION OF PETITIONS IN ACCORDANCE  
WITH THE COUNCIL'S PETITION SCHEME**
- 6        **SCHEDULE OF REPORTS FOR DISCUSSION** 5 - 8
- a        **DC/21/00641 LAND TO THE EAST OF TURKEYHALL LANE,  
BACTON, SUFFOLK** 9 - 196
- b        **DC/21/03874 MOAT MEADOW, FINNINGHAM ROAD, OLD  
NEWTON, SUFFOLK** 197 - 296
- c        **DC/21/04358 LAND AT BLACKACRE HILL, BRAMFORD ROAD,  
GREAT BLAKENHAM, SUFFOLK** 297 - 370
- d        **DC/21/05820 LAND AT BLACKACRE HILL, BRAMFORD ROAD,  
GREAT BLAKENHAM, SUFFOLK** 371 - 426
- 7        **SITE INSPECTION**

#### **Date and Time of next meeting**

Please note that the next meeting is scheduled for 23 February at 09.30am.

#### **Webcasting / Live Streaming**

The Webcast of the meeting will be available to view on the Council's Youtube page:  
[https://www.youtube.com/channel/UCSWf\\_0D13zmegAf5Qv\\_aZSg](https://www.youtube.com/channel/UCSWf_0D13zmegAf5Qv_aZSg)

For more information about this meeting, including access arrangements and facilities for people with disabilities, please contact the Committee Officer, Alicia Norman on: 01473 296384 or Email: [Committees@baberghmidsuffolk.gov.uk](mailto:Committees@baberghmidsuffolk.gov.uk)

## NOTES

At this informal meeting the opportunity for public speaking by interested persons is considered by the Chief Planning Officer appropriate to inform his consideration in reaching a decision. The Chief Planning Officer proposes to follow the approach to public speaking set down in the Councils adopted Public Speaking Arrangements at Planning Committees, a link is provided below:

[Charter on Public Speaking at Planning Committee](#)

Those persons wishing to speak on a particular application must contact the Governance Officer in the details above at least 1 working day prior to the meeting to receive details on how to join the meeting. They will then be invited by the Chairman to speak when the relevant item is under consideration. This will be done in the following order:

- Parish Clerk or Parish Councillor representing the Council in which the application site is located
- Objectors
- Supporters
- The applicant or professional agent / representative

Public speakers in each capacity will normally be allowed 3 minutes to speak.

Ward Members attending the meeting may take the opportunity to exercise their speaking rights.

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# Agenda Item 6

## MID SUFFOLK DISTRICT COUNCIL

### DEVELOPMENT CONTROL B MEETING

26 January 2022 - 09:30

#### INDEX TO SCHEDULED ITEMS

<u>ITEM</u>	<u>REF. NO</u>	<u>SITE LOCATION</u>	<u>MEMBER/WARD</u>	<u>PRESENTING OFFICER</u>	<u>PAGE NO</u>
6A	DC/21/00641	Land to the East of Turkeyhall Lane, Bacton, Suffolk	Cllr Andrew Mellen / Bacton	Alex Scott	
6B	DC/21/03874	Moat Meadow, Finningham Road, Old Newton, Suffolk	Cllr Keith Welham and Cllr Rachel Eburne / Haughley, Stowupland and Wetherden	Rose Wolton	
6C	DC/21/04358	Land at Blackacre Hill, Bramford Road, Great Blakenham, Suffolk	Cllr John Field / Blakenham	Vincent Pearce	
6D	DC/21/05820	Land at Blackacre Hill, Bramford Road, Great Blakenham, Suffolk	Cllr John Field / Blakenham	Vincent Pearce	

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## Protocol for Virtual Planning Briefings

### Live Streaming:

1. The meeting will be held on MS Teams and speakers will be able to join via invite only. Any person who wishes to speak at the meeting must contact Committee Services at: [committees@baberghmidsuffolk.gov.uk](mailto:committees@baberghmidsuffolk.gov.uk) at least 24 hours before the start of the meeting.
2. The meeting will be live streamed and will be available to view on the Council's YouTube page as detailed below:  
[https://www.youtube.com/channel/UCSWf\\_0D13zmegAf5Qv\\_aZSg](https://www.youtube.com/channel/UCSWf_0D13zmegAf5Qv_aZSg)

### Recording of proceedings:

1. Proceedings will be conducted in video format.
2. A Second Governance Officer will be present and will control the TEAMS call and Livestreaming.
3. Members should display the Corporate Background whilst in attendance at meetings: the working together logo should be used for joint meetings.
4. If you are experiencing slow refresh rates and intermittent audio you should turn off incoming video to improve your connection to the meeting (if this also does not work turn off your own camera).

### Roll Call:

1. A roll call of all Members present will be taken during the Apologies of Absence/ Substitutions to confirm Members present at the meeting.

### Disclosable Pecuniary Interests:

1. A Councillor declaring a disclosable pecuniary interest will not be permitted to participate further in the meeting or vote on the item. Where practicable the Councillor will leave the virtual meeting, by moving to a 'lobby' space and be invited to re-join the meeting by the Governance Officer at the appropriate time. Where it is not practicable for the Councillor to leave the virtual meeting, the Governance Officer will ensure that the Councillor's microphone is muted for the duration of the item.

### Questions and Discussion:

1. Once an item has been introduced, the Chair will ask if there are any questions. Members will be asked to use the "Hands Up" function within TEAMS. The Chair will then ask Members to speak.

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# Agenda Item 6a

## Officer Report

**Item No: 6A**

**Reference:** DC/21/00641

**Case Officer:** Alex Scott

**Ward:** Bacton.

**Ward Member/s:** Cllr Andrew Mellen.

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## **RECOMMENDATION – THAT THE CHIEF PLANNING OFFICER APPROVE RESERVED MATTERS WITH CONDITIONS**

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### **Description of Development**

Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

### **Location**

Land to the east of Turkeyhall Lane, Bacton, Suffolk,

**Expiry Date:** 11/06/2021

**Application Type:** RES - Reserved Matters

**Development Type:** Major Small Scale - Dwellings

**Applicant:** Flagship Group

**Agent:** Mr Jake Lambert

**Parish:** Bacton

**Site Area:** 3.52 ha

### **Density of Development:**

Gross Density (Total Site): 14.49 dph

Net Density (Developed Site, excluding open space and SuDs): 21.34 dph (open space and SuDS measures 1.13 ha approx).

### **Details of Previous Committee / Resolutions and any member site visit:**

Outline Planning Permission ref: DC/18/00723 approved by Committee, subject to conditions, on 23<sup>rd</sup> May 2018.

This Reserved Matters Application ref: DC/21/00641 was first considered at MSDC Committee B on 9<sup>th</sup> June 2021. Members resolved to defer the application to a future committee for the following reasons:

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“Defer for design review - The proposed development represents poor design and layout, including lack of suitable surveillance of open space areas, parking of cars immediate adj of resident gardens of North Close failing provisions of GP 1.”

This Reserved Matters Application ref: DC/21/00641 was then again considered at MSDC Committee B on 4<sup>th</sup> August 2021. Members again resolved to defer the application to a future committee for the following reasons:

“Defer to consider all matters raised in debate, design, ecology with particular regard to the apartment block to the south”

**Has a Committee Call In request been received from a Council Member (Appendix 1): No.**

**Has the application been subject to Pre-Application Advice: Yes - Advice given on:**  
07/10/2020.

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## **PART ONE – POLICIES AND CONSULTATION SUMMARY**

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### **Summary of Policies**

NPPF - National Planning Policy Framework  
FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development  
FC02 - Provision And Distribution Of Housing  
CS01 - Settlement Hierarchy  
CS02 - Development in the Countryside & Countryside Villages  
CS03 - Reduce Contributions to Climate Change  
CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment  
CS06 - Services and Infrastructure  
GP01 - Design and layout of development  
HB01 - Protection of historic buildings  
HB14 - Ensuring archaeological remains are not destroyed  
H07 - Restricting housing development unrelated to needs of countryside  
H13 - Design and layout of housing development  
H14 - A range of house types to meet different accommodation needs  
H15 - Development to reflect local characteristics  
H16 - Protecting existing residential amenity  
H17 - Keeping residential development away from pollution  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
RT04 - Amenity open space and play areas within residential development  
RT12 - Footpaths and Bridleways  
CL08 - Protecting wildlife habitats

## **Neighbourhood Plan Status**

This application site is not within a Neighbourhood Plan Area.

## **Consultations and Representations**

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

### **A: Summary of Consultations**

#### **Town/Parish Council (Appendix 3)**

##### **Bacton Parish Council - 16/03/2021 & 28/05/2021:**

Object: Application submitted without prior public engagement; Concern with regards safe access and suitability of existing road and junction with Pound Hill; The current proposal has compromised the available open space being offered and does not reflect what was offered at outline stage; Bacton has a serious deficit of place spaces; Question how public space maintenance vehicles will gain access; Concerns with regards the proximity of the development to the northern site boundary, and an existing property, and the resultant loss of residential amenity; Proposed footpath to north close would mean further loss of amenity for residents; Do not consider affordable housing should be clustered, in the interest of avoiding social isolation and mixed and balanced communities; Concerns with regards Traffic Management of construction vehicles.

#### **National Consultee (Appendix 4)**

##### **Natural England - 15/02/2021, 19/04/2021, 07/07/2021 & 16/11/2021:**

Natural England has no comments to make on this application.

##### **Anglian Water - 16/02/2021, 29/04/2021 & 14/07/2021:**

Having reviewed the applicant's foul drainage strategy, consider: The impact on public foul sewerage network has not been adequately addressed at this stage.

##### **Highways England - 15/02/2021, 04/05/2021, 19/06/2021 & 16/11/2021:**

Offer no objection - Highways Act Section 175B is not relevant to this application - There is unlikely to be any adverse effect upon the Strategic Road Network.

##### **Network Rail - 23/02/2021, 20/04/2021, 05/07/2021, 19/06/2021 & 16/11/2021:**

Network Rail have no objections to the proposals.

##### **NHS - Clinical Commissioning Group (CCG) – 25/02/2021 & 15/07/2021**

Provision of increased capacity within existing healthcare premises to be sought by CIL contributions. Funds likely to be used to reconfigure/extend Manor Farm Branch Surgery.

## **County Council Responses (Appendix 5)**

### **SCC - Highways - Initial Comments - 24/02/2021 & 20/05/2021:**

Further information and clarification, on issues specified, required.

### **SCC - Highways - Comments following receipt of further information - 07/07/2021:**

Advise that the developer should enter into a formal Section 38 agreement with the Highway Authority relating to construction and adoption of Estate Roads - Advise soft landscaping, over 600mm high, should not be planted within road junction visibility splays.

### **SCC - Highways – Final Comments on scheme currently proposed - 29/07/2021 & 30/11/2021:**

Do not wish to restrict the grant of permission due to the application not having a detrimental effect upon the adopted highway.

### **SCC - Lead Local Flood Authority (LLFA) - Initial Comments - 15/02/2021, 20/04/2021 & 10/11/2021:**

Holding Objection - Actions suggested in order to overcome objections.

### **SCC - Lead Local Flood Authority (LLFA) - Subsequent Comments - 11/05/2021, 06/07/2021, and 16/11/2021:**

Recommend approval of this application (on basis of revised information received).

### **SCC - Archaeology - 15/02/2021, 13/04/2021 & 08/07/2021:**

Current proposal does not affect previous advice (given during consultation on the outline planning application) - We have received and approved a report of archaeological evaluation results for this development. Although archaeological remains were encountered, it is unlikely that further investigation would add significantly to this new information - We have no comments to make regarding the amended documents.

### **SCC - Travel Plan Officer - 09/02/2021, 13/04/2021, 01/07/2021 & 10/11/2021:**

No comment to make - a Travel Plan, or Travel Plan measures, were not secured as part of the original outline application.

### **SCC - Development Contributions - 10/02/2021, 04/05/2021 & 12/11/2021:**

No comments to make on this (reserved matters) application - Outline planning permission was granted under reference DC/18/00723. In respect of infrastructure, the County Council will make a future bid for CIL funds if the development is built out.

### **SCC - Fire and Rescue - 03/03/2021, 13/04/2021 & 09/11/2021:**

No objection - Subject to compliance with Condition 21 of Outline PP.

## **Internal Consultee Responses (Appendix 6)**

### **MSDC - Heritage - 05/03/2021, 23/04/2021, 02/06/2021, 05/07/2021 & 30/11/2021:**

Raise no particular concerns at this stage - Do not consider that the harm identified at Outline Stage could be fully removed through Reserved Matters. Nonetheless, the Site Layout Plan now proposed is an improvement over the last iteration of the indicative Site Layout Plans submitted at Outline Stage - Further details requested in relation to proposed foul pumping station by way of condition.

### **MSDC - Landscape Consultants - 12/03/2021, 04/05/2021, 13/07/2021 & 30/11/2021:**

The proposed landscape plan is appropriate for a development of this scale and within this location - Generally support changes made to the layout.

### **MSDC - Ecology Consultants - Initial Comments - 01/04/2021, 05/05/2021 & 19/07/2021:**

No objection raised with regards layout and landscaping proposed - Following receipt of revised details now satisfied with proposed Landscaping Schedule and Landscape Management Plan, submitted to meet the requirements of condition 28 of the outline consent.

### **MSDC - Ecology Consultants - Subsequent Comments - Following receipt of amended layout and Ecology Addendum Report - 01/12/2021:**

Following re-assessment of Preliminary Ecological Appraisal, initially provided with the application, and assessment of the further information supplied: remain satisfied with proposed landscape plan, particularly the pond planting mix; approve of proposed biodiversity enhancements; and approve the proposed wildlife sensitivity lighting strategy.

### **MSDC - Environmental Protection - Land Contamination Issues - 10/02/2021, 30/04/2021 19/07/2021 & 25/11/2021:**

No comments to make in addition to those made towards the 2018 permission.

### **MSDC - Environmental Protection - Air Quality Issues - 26/02/2021, 30/04/2021, 19/07/2021 & 25/11/2021:**

No comments to make with respect to Local Air Quality Management.

### **MSDC - Environmental Protection - Noise/Odour/Light/Smoke Issues - 17/02/2021, 5/04/2021, 07/07/2021 & 11/11/2021:**

Do not raise objection, subject to: Hours of Work; Construction Management; On-site Burning relating to construction; and Lighting design, conditions being secured by any permission granted.

### **MSDC - Environmental Protection - Sustainability - 02/03/2021, 30/04/2021, 12/07/2021 & 26/11/2021:**

This proposal does not directly deal with Sustainability/Climate Change aspects, however I have studied the applicant's documents and noticed their comments within the Planning Statement - Expect a further consultation request in relation to Condition 19 (of the outline planning permission), that formally requests a Sustainability Statement.

### **MSDC - Waste Services - 11/02/2021, 20/04/2021, 06/05/2021 & 09/07/2021:**

Waste services do not wish to add any further comments to our original (submitted during consultation on the outline planning application) - Layout should be adequate for use by RCV.

**MSDC - Public Realm - 16/02/2021, 19/04/2021, 19/07/2021 & 26/11/2021 :**

Public Realm Officers have reviewed the landscape schedule and maintenance plan and associated drawings and consider that the information provided is sufficient to discharge the outline planning condition - Support the proposed treatment of the open spaces within the development.

**MSDC - Strategic Housing - Initial Comments Received - 02/03/2021, 03/06/2021, 15/07/2021:**

The proposed housing mix for affordable and open market is acceptable and we note that bungalows are included in the mix which is welcomed - Note that the Registered Provider has agreed the current layout however we do not support this approach.- Preference is for affordable homes to be integrated into the development to create a balance of housing tenure across the site ensuring a cohesive, inclusive community and scheme.

**MSDC - Strategic Housing - Final Comments on amended design and layout - 16/12/2021:**

All affordable housing now meets Nationally Described Space Standards - Proposed Mix of Affordable Units is considered acceptable - Do not agree with applicant's interpretation of NPPF Para 65.

**MSDC - Private Sector Housing - 13/04/2021:**

Are not required to be involved or informed.

**Mid Suffolk Disability Forum - 10/02/2021, 21/04/2021, 02/07/2021 & 11/11/2021:**

It is noted that the intention is to recognise those with restricted mobility in this development and we are pleased to note the intention to provide 10 bungalows.

We would expect that all dwellings will meet Parts M4(1), M4(2), and M4(3), of building regulations.

Every effort should be made to ensure all footpaths are wide enough for wheelchair users, with a minimum width of 1500mm, and that any dropped kerbs are absolutely level with the road for ease of access.

All surfaces for footpaths should be firm, durable and level. No loose gravel, cobbles or uneven setts should be used.

**\*Suffolk Constabulary - Design Out Crime Officer - 13/08/2021:**

Concerns raised with regards: rear parking court of plots 46-51 and under-croft; lack of surveillance and lack of active windows fronting public open space.

\*NB: Members please note that Suffolk Constabulary comments are given in relation to the previous layout and design proposed (revision P19). Suffolk Constabulary have been formally consulted for comment on the current layout proposed (revision P20) but have not provided a response.

## **B: Representations**

At the time of writing this report at least 10 letters/emails/online comments have been received. It is the officer opinion that this represents 10 objections, 0 support and 0 general comment. A verbal update shall be provided as necessary.

Views are summarised below:-

- Turkeyhall Lane is too narrow to accommodate this development;
- Widening Turkeyhall Lane would destroy its existing character;
- Astonished that Turkeyhall Lane is being considered as the main access to the site;
- There is not enough room to widen Turkeyhall Lane without taking land from neighbouring properties and/or damaging neighbouring property - legal advice is being considered/taken by some;
- Residents of Turkeyhall Lane do not want the proposed footpath, it is unnecessary;
- The visibility splays at the junction of Turkeyhall Lane and Pound Hill are limited, insufficient and unsafe;
- The proposal will result in 50 to 200 more vehicle movements per day which will result in increased noise and air pollution and impact road capacity and safety;
- Concern with regards lack of sustainability initiatives proposed;
- The proposal will ruin the outlook of existing neighbouring properties;
- Concern with regards the safety of walkers, cyclists and horse riders who use Turkeyhall Lane and Clay Lane;
- Proposed open space will not benefit wider community as there is no direct access other than through the proposed estate;
- Proposed boundary treatment will affect existing residents views;
- The proposal will urbanise the rural character of the area;
- The design of dwellings proposed is not in keeping with the existing character of the locality;
- Do not consider proposed landscaping is sufficient for character of site and area and sufficient to screen the development;
- The proposed on-street visitor parking makes the street-scene very car dominated;
- Proposed substation compound is utilitarian and in an offensive position;
- Concern with regards surface water drainage and risk of flooding caused by the development;
- Do not consider existing foul drainage systems have capacity of the new development;
- Concern with regards proposal's impact on the landscape and wildlife;
- Some aspects of the proposal would negatively impact neighbouring amenity;
- Do not consider the affordable housing should be grouped together;
- Concern with regards the impact on existing road networks and highway safety during construction - note that larger vehicles are restricted by the low railway bridge on Pound Hill, forcing them to use Turkeyhall Lane and Clay Lane, which are narrow;
- The developers have not engaged with residents prior to submitting the application - do not consider Covid 19 is an excuse not to do this.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

## **PLANNING HISTORY**

**REF:** DC/18/00723

Outline Planning Application (Access to be considered) Erection of up to 51 new homes, highway improvements including widening of

**DECISION:** GTD  
03.07.2018

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## **PART TWO – ASSESSMENT OF APPLICATION**

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### **1. The Site and Surroundings**

- 1.1. The application site comprises (Grade 3) agricultural land to the north of Bacton, which is designated as a Key Service Centre in the Core Strategy. The site is located between residential properties to the west (Woodward Avenue) and south (North Close), and the Diss to Ipswich railway line to the east. The site fronts Turkey Hall Lane. To the east of the site is St Mary's Close Playground. The site abuts the village settlement boundary on its southern and western sides. To the north are arable fields.
- 1.2. In respect of heritage assets, at the north western corner of the site is Turkey Hall, a Grade II listed property and its associated outbuildings and land, which wrap around this corner of the site and front onto Turkey Hall Lane. This is the nearest listed building to the site, with others located some distance away in the central body of the village.
- 1.3. The site is not in or abutting a Conservation Area (there are no Conservation Areas in the village). The site is not in an area of special character designation such as an Area of Outstanding Natural Beauty or Special Landscape Area. Nor is the site adjoining, or in proximity to, any designated landscape areas of special significance.
- 1.4. The site measures 3.52 ha (8.7 acres). The site is located in Flood Zone 1.
- 1.5. There is an existing field access to the site from Turkey Hall Lane. There are no Public Right of Ways that traverse or run close to the site.

### **2. The Proposal**

- 2.1. The application is submitted further to outline planning permission ref: DC/18/00723, granted in July 2018, and seeks approval of reserved matters relating to the Layout, Scale, Appearance and Landscaping of 51 no. dwellings.
- 2.2. The application proposes delivery of 33 market housing units and 18 affordable housing units, as well as well as approximately 0.98 hectares of public open space (split into three parts: to the frontage of the site, either side of the access estate road, and to the centre and south-east of the site, adjacent to St. Mary's Playground). The proposal would also deliver localised upgrade and widening works to Turkeyhall Lane (already secured by way of the outline planning permission). A Foul water pumping station and enhanced landscape planting is also proposed.
- 2.3. 2 no. large surface water attenuation basins are also proposed to the north-west site boundaries, which are intended to both serve as a Sustainable Surface Water Drainage (SuDs) and amenity features.
- 2.3. The proposed net density of housing development would be 21.34 dwellings per hectare, with back to back distances of no less than 18 metres.



2.4. The proposed dwelling types are broken down as follows:

**Market Dwellings**

Two Bedroom detached Bungalows	= 7 no.
Three Bedroom detached Bungalows	= 3 no.
Two Bedroom Semi-detached Houses	= 6 no.
Three Bedroom Semi-detached Houses	= 6 no.
Three Bedroom Detached Houses	= 4 no.
Four Bedroom Detached Houses	= 7 no.
<b>TOTAL</b>	<b>= 33 no.</b>

**Affordable Dwellings**

One Bedroom Apartments (Flats)	= 6 no.
Two Bedroom Semi-detached Houses	= 9 no.
Three Bedroom Semi-detached Houses	= 3 no.
<b>TOTAL</b>	<b>= 18 no.</b>

2.6. The proposed dwellings would be provided in a range of types and styles. Proposed external facing material would be a mix of facing red brick (Ibstock Multi Stock), Ivory, Off White and Suffolk Pink coloured render, with timber cladding details. Roofing materials would be a mix of red Terracotta pantiles (by Wienerberger) and black concrete pantiles (by Fenland). All windows would be white UPVC, with black entrance doors.

**3. Amendments to the Proposal since previous Committee**

3.1. The current application was previously considered by Members at the MSDC-Development Committee B meeting of the 4<sup>th</sup> August 2021. At that committee Members resolved to defer the application for the following reasons:

“Defer to consider all matters raised in debate, design, ecology with particular regard to the apartment block to the south”

3.2. In order to address the previous concerns of members the applicant has revised the proposed layout, scale and appearance of dwellings as follows:

3.3. In order to address the issue of surveillance of open space areas, the proposed open space to the centre/east of the site has been extensively re-designed, with 6 no. dwellings now directly fronting this space, to the north, and active windows from 4 no. other dwellings also fronting this space from the north and the south. Your officers consider that the proposed re-design of this area and the additional active windows fronting this area would provide adequate surveillance, overcoming the concerns previously raised by members and the Suffolk Constabulary.

3.4. The apartment block to the south of the site, previously proposed, along with its rear parking court and under-croft, has been removed from the scheme and the area it previously occupied has been replaced by 2 no. re-located private market, detached, dwellings.

3.5. The single bedroom apartment block building has been re-designed and re-located to the far north-east corner of the site, along with 2 no. semi-detached affordable dwellings, addressing previous concerns raised with regards grouping of affordable dwellings in a single area of the site. The two-bedroom affordable apartment building previously proposed has also been removed from the scheme, with the two-bedroom affordable units now proposed to be provided in the form of semi-detached or terraced dwellings.

- 3.6. With regards matters relating to Ecology, the applicant has submitted a revised Ecology addendum report following the previous committee meeting, which has been assessed by the Council's Ecology Consultants at Place Services, and who are satisfied with the assessments and proposals therein.
- 3.7. 7 no. additional allocated parking spaces are also proposed by way of the current revised layout proposed.

#### **4. The Principle of Development**

- 4.1. Whilst it is acknowledged that the site does lie outside of the current development plan settlement boundary, the principle of the proposed development has already been established by way of Outline Planning Permission Ref: DC/18/00723. Matters relating to the provision of a new site access and works to Turkeyhall lane have also been previously addressed as part of the outline planning permission, subject to conditions.
- 4.2. Objections and comments received, with regards in principle and site access issues are noted, however, such matters have previously been addressed by way of the outline permission granted, with any further details required being subject to conditions of that outline planning permission.
- 4.2. The current application relates specifically to issues of Layout, Scale, Appearance and Landscaping of the site only.

#### **5. Site Access, Parking and Highway Safety Considerations**

- 5.1. The point of access and off-site highways works have previously been dealt with under the outline permission. The outline permission also establishes the principle of up to 51 dwellings and related traffic to and from the site. However, layout of parking and visitor parking is for considerations and meets the requirements under the SCC Parking Standards. The parking proposals are as follows: -  
  
114 no. allocated parking spaces (including Garages) (Equates to 2.24 parking spaces per dwelling)  
14 no. Visitor/Informal off road parking bays (Equates to 0.28 spaces per dwelling).
- 5.2. Electric Car Charging Points are also proposed within each garage proposed.
- 5.3. Parking provision is considered to meet the minimum requirement for parking places as shown in the Suffolk Parking for Guidance 2019.
- 5.4. In conclusion, the provision of 51 dwellings and the access point have been agreed under the outline permission. Detailed road alignment in addition to the level and location of all parking is acceptable in policy terms. Your officers consider the changes during the course of the application have now created a spacious layout with access to public open space, and village services, with safe pedestrian routes. It is considered that the applicant has addressed all concerns by making important and substantial changes to the layout with a complete review of the site. It is considered that the latest scheme before you are the result of beneficial amendments and improvements to the proposal to that originally submitted.
- 5.4. The Local Highway Authority has been consulted on the latest proposal and is satisfied with the proposed layout with, with regards the proposed estate roads and turning and parking proposed.

SCC-Highways consider the layout currently proposed would not result in a detrimental effect upon the existing adopted highway and do not wish to restrict the granting of reserved matters.

#### Off Site Highways Works

- 5.5. Matters relating to off site works to Turkeyhall Lane have previously been considered and agreed, in principle, as part of outline planning permission ref: DC/18/00723, with technical details and delivery secured by way of condition attached to that permission.
- 5.6. The applicant has been in discussion with the Parish Council and District and County Council Ward Members regarding this specific issue, with concerns regarding lack of provision for pedestrians along Turkey Hall Lane being highlighted.
- 5.7. There are site constraints that may preclude a pedestrian footway being provided from the site, south to Pound Hill, via either Turkeyhall Lane or North Close, should road widening to TurkeyHall Lane proceed, as originally proposed and agreed.
- 5.8. The latest proposal being considered to address the issue is to retain the carriageway width of Turkeyhall Lane as existing through to north of the development site access (approximately 4.1m width), with the addition of a siding footway of 1.2m width (in the main, excluding pinch-points), with a 50mm kerb upstand, designed as over-runnable, so that where vehicles need to pass, this would be possible. A wider footway and dedicated passing places, incorporating double yellow lines to deter parking, would be provided where practicable. Making the relevant section of Turkeyhall Lane a 20mph speed limit has also been proposed. It is understood that safety auditors have assessed the principle of this proposal and consider this to be a reasonable alternative to address concerns regarding provision for pedestrians. It is also understood that Highways engineers at Suffolk County Council have also considered the proposal and have informally agreed to the principle of this solution, subject to: passing places being delivered where possible; pedestrians having right of way in relevant locations; a priority system for vehicles heading in one direction; and provision of advance signage.
- 5.9. Members will please note that this matter relates to the Outline Planning Permission and condition applied to thereof, and will be controlled on that basis. This matter does not, however, affect determination of the current reserved matters application.

#### **6. Design and Layout [Impact on Street Scene]**

- 6.1. The development is predominantly two-storey, however the developer has sought to provide 10 no. Bungalows as part of the development.
- 6.2. The proposed layout has been designed so as to set the development back from Turkeyhall Lane and has introduced 2 no. areas of public open space to the frontage of the development, either side of the proposed estate access road. The development is proposed with a central estate spine road running south-west to north-east through the development, with two branch roads. Paved footpaths are also proposed adjacent to the principle estate roads providing safe pedestrian routes through the development, avoiding linking to highways with no existing footways as much as possible, linking the site to the existing adjacent St. Mary's Playground. The proposed layout is considered to create a welcoming, quality, pedestrian-friendly residential

environment. Back gardens meet back gardens or the landscaped boundaries of the site, and avoid unsupervised spaces. The proposed open spaces and landscaped boundaries provide green corridors to accord with landscaping recommendations, as well as creating a softer buffer to the adjoining countryside. Discussions with the developer since the application was originally submitted has led to a number of improvements to the connections across and around the site, and on-site public open space provision, that taken together have resulted in attractive spaces between dwellings to encourage activity and good sense of place, with direct links to the open countryside.

- 6.3. The proposed housing density of 21.34 dwellings per hectare, although lower than the 40 dph as set out in development plan policy CS9, is considered to be acceptable in this location, at the rural edge of the village, adjacent to less dense edge of settlement properties. The proposed density, is therefore considered to be appropriate to the existing character and density of development to its immediate surrounds, and appropriate to the landscape character of the locality.
- 6.4. The layout proposes a wide range of house types, with 12 total design variations proposed. The resulting range of house types enjoy detailed features with a greater range of character variances when compared to an average estate of a similar scale. It is considered that the proposals will provide a development of sufficient interest and individual character, suitable in the proposed location. The scheme delivers a range of housing types which would provide a suitable mix address and would deliver 18 no. affordable housing units.
- 6.5. Your Strategic Housing Officers have assessed the application proposal and are satisfied that the proposed would deliver affordable dwellings of a type and tenure that is acceptable, in accordance with what was previously agreed in principle at outline stage, also being compliant in relation to Nationally Described Space Standards.

## **7. Landscape Impact, Trees, Ecology, Biodiversity and Protected Species**

- 7.1. The proposed scheme of landscaping, providing strong landscape and open space buffering, incorporating appropriate tree, hedge and plant species, to the north and east countryside boundaries, is considered appropriate to the type and scale of development proposed. The proposed scheme of landscaping is also considered to provide green corridors traversing the countryside edges of the site, to the benefit of ecological species.
- 7.2. Council landscape consultants have been consulted on the application proposal and, are satisfied with the level of detail provided with regards hard and soft landscaping.
- 7.3. Overall the proposed scheme of landscaping is considered to screen and soften the proposed development into the existing landscape, to create an appropriate soft edge to the village in this location, and to provide suitable opportunities for ecological species.

## **8. Impact on Residential Amenity**

- 8.1. Policy H13 of the development plan seeks to ensure new housing development protects the amenity of neighbouring residents. Policy H16 of the development plan seeks to protect the existing amenity of residential areas.
- 8.2. Paragraph 130 of the NPPF sets out a number of core planning principles as to underpin decision-taking, including, seeking to secure a high standard of amenity for existing and future users of developments and places.

- 8.3. The proposed layout provided is considered to sufficiently demonstrate that the site is readily capable of accommodating the proposed number and density of dwellings in a manner that will not unduly compromise the residential amenity of future occupiers of the development or occupiers of neighbouring dwellings. The proposed dwellings give no rise to unacceptable amenity impacts, owing largely to the separation distances between proposed dwellings and existing neighbouring dwellings and the orientation of buildings proposed.
- 8.4. The addition of a knee high post and rail fence adjacent to existing dwellings at North Close is considered to adequately preserve outlook amenity, onto the new open space areas proposed. In addition, the removal of the apartment building and rear parking court previously proposed, adjacent to North Close, ensure the amenities of these neighbouring properties are not significantly compromised by way of the development.
- 8.5. The proposal, therefore, accords with the aspirations of development plan policies H13 and H16 and with paragraph 130 of the NPPF in this regard.

### **9.1. Surface Water Drainage and Flood Risk**

- 9.1. The applicant has produced a site specific Flood Risk Assessment / Surface Water Drainage Strategy, carried out by a suitably qualified Company (Richard Jackson Engineering Consultants), submitted with the application, and amended subsequently, following advice given by the Lead Local Flood Authority at Suffolk County Council.
- 9.2. The report is considered to satisfactorily demonstrate that the proposed development is at 'low' risk of flooding from all sources.
- 9.3. The proposed surface water drainage strategy submitted is based on attenuation storage, with controlled discharge to the existing drainage ditch which runs through the site, and the proposed layout incorporates 2 no. attenuation storage basins to the north-west boundaries of the site, that form an integral part of the development scheme and the surface water drainage strategy for the site.
- 9.4. The NPPF requires that, for major applications such as this, sustainable drainage systems for the management of run-off are put in place, unless demonstrated to be inappropriate. Sustainable drainage is an approach to managing surface water run-off which seeks to mimic natural drainage systems and retain water on or near the site, as opposed to traditional drainage approaches, involving piping water off-site as quickly as possible. SuDS involve a range of techniques including soakaways, infiltration trenches, permeable surfaces, grassed swales, ponds and wetlands. SuDS offer significant advantages over conventional pipe drainage systems in reducing flood risk by attenuating the rate and quality of surface water run-off from a site, promoting groundwater recharge and improving water quality amenity.
- 9.5. National Planning Practice Guidance directs what sort of SuDS should be considered. Generally, the aim should be to discharge surface water run-off as high up the below hierarchy of options as reasonably practicable:
- 1) Into the ground (infiltration);
  - 2) To a surface water body;
  - 3) To a surface water sewer, highway drain or another drainage system;
  - 4) To a combined sewer.
- 9.6. The NPPG provides that the particular types of SuDS may not be practicable in all locations.

- 9.7. In addition to the above, the NPPF also requires that developments do not increase flood risk elsewhere.
- 9.8. SCC-Local Lead Flood Authority (LLFA) have been consulted on the application proposal and, following negotiation and receipt of revised and further information from the applicant, resolved to recommend approval of this application on basis of the most recent proposals submitted.
- 9.9. In assessing the proposal, your officers consider the surface water drainage scheme, as currently proposed would suitably manage surface water runoff from the proposed development and would not demonstrably result in significant increased flood risk on the site or elsewhere.

## **10. Parish Council Comments**

- 10.1. The majority of matters raised by Bacton Parish Council have been considered in the above report, but the following issues have also been raised:
- The applicant' did not engage with the public prior to submitting the application; and
  - The current proposal has compromised the available open space being offered, and public open space need in the Village.
- 10.2. Whilst paragraphs 39 to 46 of the NPPF encourage pre-application engagement with communities, this is not a specific policy requirement or obligation on the part of the applicant. It is also understood that the applicant has engaged with the Parish Council, since the application was last at committee, in relation to the current layout and design now proposed.
- 10.3. The proposal would provide approximately 1 hectare of public open space available to both existing and future residents. Such provision is considered more than adequate for a development of this scale.

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## **PART THREE – CONCLUSION**

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### **11. Planning Balance and Conclusion**

- 11.1. The principle of development has been agreed for the number of dwellings proposed as well as the access arrangements and off-site highway works. The resultant development provides an environment that is not considered to be excessively car dominated, has good supervision and details a variety of dwelling styles and materials that provides interest to a range of streetscapes. All statutory consultees offer no significant objection to the scheme that cannot be addressed by way of existing or further conditions. The proposals are well connected to the existing village and its range of services and facilities, which it would help support. The proposal will create a new landscaped edge to the village and provide green public open space assets for the community to benefit from. Overall the development is considered to provide an attractive place with a range of house types to meet both affordable and housing needs at all levels.

## **RECOMMENDATION**

**That the Chief Planning Officer APPROVE Reserved Matters, subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:**

Conditions recommended to be applied to any reserved matters approval issued are as follows:

- Approved Plans and Documents;
- Those required by MSDC Heritage Officers;
- Those required by MSDC Environmental Protection Officers.

(Please see appended decision notice for those already imposed as part of Outline Planning Permission Ref: DC/18/00723).

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Application No: DC/21/00641

Location: Land to the east of Turkeyhall Lane,  
Bacton

		Page Number
Appendix 1: Call In Request	<i>N/a</i>	
Appendix 2: Details of Previous Decision	Decision Notice - Outline Planning Permission ref: DC/18/00723  Committee Report - Outline Planning Permission ref: DC/18/00723	
Appendix 3: Town/Parish Council/s	<b>Bacton Parish Council</b>	
Appendix 4: National Consultee Responses	<b>Natural England</b> <b>Anglian Water</b> <b>Highways England</b> <b>Network Rail</b> <b>NHS – Clinical Commissioning Group (CCG)</b>	
Appendix 5: County Council Responses	<b>SCC – Highways</b> <b>SCC – Travel Plan Officer</b>	



Babergh and Mid Suffolk District Councils



	<p><b>SCC - Flood &amp; Water Management (LLFA)</b></p> <p><b>SCC - Archaeological Service</b></p> <p><b>SCC - Fire &amp; Rescue</b></p> <p><b>SCC - Development Contributions Manager,</b></p>	
<p>Appendix 6: Internal Consultee Responses</p>	<p><b>MSDC – Heritage Team</b></p> <p><b>MSDC – Landscape Consultant</b></p> <p><b>MSDC – Ecology Consultant</b></p> <p><b>MSDC – Environmental Health – Land Contamination</b></p> <p><b>MSDC – Environmental Health – Air Quality</b></p> <p><b>MSDC – Environmental Health – Other Issues</b></p> <p><b>MSDC – Environmental Health – Sustainability</b></p> <p><b>MSDC – Waste Management Services</b></p> <p><b>MSDC – Public Realm</b></p> <p><b>MSDC – Strategic Housing</b></p> <p><b>MSDC – Private Sector Housing</b></p>	
<p>Appendix 7: Any other consultee responses</p>	<p><b>Mid Suffolk Disability Forum</b></p> <p><b>Suffolk Constabulary - Secure by Design Officer</b></p> <p>10 letters/emails/online comments received. 10 objections, 0 support and 0 general comment.</p>	





Appendix 8: Application Site Location Plan	Yes	
Appendix 9: Application Plans and Docs	Yes	
Appendix 10: Further information	Committee Action Sheet from Previous Committee.	

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



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## BACTON PARISH COUNCIL

Chairman: Councillor Richard Peaty  
Clerk: Tina Newell  
25 Shakespeare Road, Stowmarket,  
Suffolk IP14 1TU.

email: parishclerk@bacton-pc.gov.uk  
telephone: 07767 163706

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### **Application Summary:** DC/21/00641

Proposal: Submission of details (reserved matters) in relation to outline planning permission DC/18/00723 appearance, landscaping, layout and scale for the erection of up to 51 dwellings, highways improvements including widening of Turkeyhall Lane, provision of public open space and associated infrastructure Land to the East of Turkey Hall Lane Bacton.

### **Consultee Details:**

Name: Bacton Parish Council  
Address: 25 Shakespeare Road, Stowmarket, Suffolk IP14 1TU  
Email: parishclerk@bacton-gov.co.uk

### **Comments:**

After lengthy discussion all Cllrs resolved to **OBJECT** to this application for the following reasons:

- Contrary to the Planning Statement (paragraph 6.1) the Parish Council and local community are very disappointed this application was submitted without any prior public engagement (paragraph 39 of the NPPF). The District Council are in talks with the Parish Council and developers on two further sites for development within the Parish, therefore COVID cannot be a justifiable reason for this developer not engaging.
- The Parish Councils comments from the outline development (dated 20.03.2018) still remain over concern for the safe provision of access to and from the site given the suitability of the existing road, and the turning of vehicles within the curtilage of the site and at the Turkey Hall Lane/Pound Hill junction.
- Within the Planning Heritage Design and Access statement section 19 of the outline application it was suggested that the layout be conditioned in reserved matters, a suggestion Bacton Parish Council supported. The Parish Council are therefore very disappointed to see this was not a condition and has now compromised the available open space being offered. Within the outline application the Statement of Community Involvement Report the developers wrote "The new, improved recreation area included in the proposed development was warmly received by residents at the exhibition, and is evident in their written feedback. The general consensus is that a new recreation/play area is desperately needed in the village, particularly to accommodate children's play equipment. Some people, however, raised questions over cost, maintenance and ownership.

The recreation ground would be owned by the Parish Council (no lease) which means that this area of land would be safeguarded for the community against future development, and would become a real village asset. The Parish Council, therefore, would also maintain the new, improved recreation area” The Parish Council are therefore very disappointed to see Section 5.6 the Planning Statement supporting the reserved matters application ‘provision of a large area of open space to the east of the site’ does not reflect the site offered in the outline application, neither does it conform to the general principle of the illustrative masterplan or to what residents said was needed at outline.

- A local need for play space was identified at the outline consultation and is reflected in paragraph 73 of the NPPF ‘Access to high quality open spaces and opportunities for sport and recreation can make an important contribution to the health and well-being of communities ‘ By proposing an Orchard this proposal does not address these needs
- Paragraph 8.4 continues with the open space theme although not adhering to what residents requested but proposing a community orchard; who is going to maintain this and control the vermin it will naturally attract; how are maintenance vehicles to gain access; who will be able to gain easy access as there is no access from outside the main development?
- Bacton has a serious deficit in respect of play spaces
- Paragraph 8.5 of the Planning Statement confirms the open space has been reduced from 1.37ha to 1.24ha a reduction of almost 10% however the Planning Statement says ‘the reshaping of open space throughout the site has not compromised the amount of open space provided’! To a Parish with limited access to public open space, who confirmed a great need with the developers at outline the Cllrs would suggest this is a significant reduction.
- The Northern boundary is very close to an existing residential property and is likely to lead to loss of residential amenity by virtual of noise and disturbance of car maneuvering.

**Tina Newell**  
**Clerk to Bacton Parish Council**

9 March 2021

## **Bacton Parish Council**

### **Objection to DC/21/00641: Submission of details (reserved matters) relating to outline planning permission DC/18/00723**

Whilst Bacton Parish Council supported the outline application in 2018, the Council objects to this current application as it is at variance with the layout and other undertakings described at the supporting documentation at the time and many of the Council's concerns expressed on that occasion have not been addressed.

#### **Public Engagement:**

Contrary to the Planning Statement (paragraph 6.1) the Parish Council and local community are very disappointed this application was submitted without any prior public engagement (paragraph 39 of the NPPF). The District Council have been in talks with the Parish Council and developers on two further sites for development within the Parish, therefore COVID cannot have been a justifiable reason for the lack of engagement by the developer.

Within the Statement of Community Involvement Report in the 2018 outline application, the developers wrote "The new, improved recreation area included in the proposed development was warmly received by residents at the exhibition, and is evident in their written feedback. The general consensus is that a new recreation/play area is desperately needed in the village, particularly to accommodate children's play equipment."

#### **Open Space:**

The Parish Council was impressed by the area of useable open space in the outline application which it supported and anticipated taking into its ownership for the benefit of the whole village community with its link to the adjacent St Mary's Playing Field. **(Plan A below)**

It is therefore surprised and disappointed to see that the current application stating "provision of a large area of open space to the east of the site" **(Plan B below)** reduces this dramatically by over 50% of the area previously identified as a recreation area. This is justified in the current Planning Statement which claims "the reshaping of open space throughout the site has not compromised the amount of open space provided".

To a village with limited access to public open space, whose residents confirmed a great need with the developers at outline this is a significant reduction in the area directly available to community as a whole from St Mary's Playing Field.

This does not reflect the site offered in the outline application, nor does it conform to the general principle of the illustrative masterplan or to what residents said was needed at the outline public consultation.

Whilst the Council still wishes to secure the land they would want to see the area equipped with play and gym equipment suitable for both able bodied and disabled users of all ages. They feel this should be a condition of any consent that is granted. The access to the area from St Mary's Playing Field to the south will need to be of sufficient width to allow the passage of full sized machinery to maintain the area without having to travel through the development. The Parish Council request a play scheme is devised by the developers in consultation with the Council.

The recreation ground would be owned by the Parish Council and safeguarded for the community against future development becoming a real village asset. The Council would wish to see details of the phasing of the creation of the open space and the timing of its availability to residents.





### **Turkey Hall Lane:**

The Parish Council's comments from the outline development (dated 20.03.2018) still remain over concern for the safe provision of access to and from the site given the suitability of the existing road, and the turning of vehicles within the curtilage of the site and at the Turkey Hall Lane/Pound Hill junction.

The Parish Council has previously raised the issue of the width of carriageway between the site and the junction with Pound Hill. Seeing the current design of the Section 278 roadworks it is impossible to see how the required 5.5 meters of highway needed can be achieved along Turkey Hall Lane without causing the loss of a resident's amenity and visibility splay and without taking more than 1m from current verges.

The design is based on the minimum width required and has missed the opportunity to provide a footpath along the full length of Turkey Hall Lane by suggesting that an alternative route through North Close should be used. The reality is that pedestrians will still want to take the shortest route between the site and Pound Hill.

The Council seeks confirmation that the wording in the Section 278 works package means the widening of Turkey Hall Lane will commence prior to the development of the housing site. This is essential to allow the safe movement of vehicles permitted to use that junction to the site via Pound Hill. It would also ask for details of how and when the road closure/restrictions during the Section 278 works, estimated for a 10 week period, will be managed.

### **Traffic Management:**

The Parish Council has liaised closely with Haughley Parish Council in support of their concerns about the impact on their village of construction traffic for this and other anticipated development sites in Bacton. The Council is surprised at the Highways comment that there is unlikely to be any adverse effect upon the Strategic Road Network when in fact there is the potential for major disruption from this and the other five sites moving into the construction phase in the next twelve months.

Bacton Parish Council insist all construction vehicles over 10 foot 3 inches high access the site via A140 at the White Horse turning right off the B1113 on to Clay Lane and seeks an absolute undertaking that no articulated lorries will be accessing the site.

To avoid conflicts with school drop offs and collections, the Parish Council insist all deliveries and removals of materials and other major vehicle movements, to and from the site should only occur between the hours of 0800 – 0830, 0930 – 1500 and 1600 - 1700 Monday to Friday and 0900 – 1300 Saturdays.

To avoid the risk of congestion on Clay Lane, all deliveries must be pre-booked with only one vehicle entering and leaving the site per slot.

### **Landscape:**

The Parish Council wishes to see a much better landscape buffer of tree and other planting and seeks confirmation of where responsibility lies for its short and long term maintenance along with a detailed schedule for that work. It also notes there is concern about the design of the attenuation basin and a holding objection in respect of a sustainable Drainage System which is of concern given the history of water flooding properties downstream of the site.

May 2021

Planning Consultation DC/21/00641 Natural England Response

Dear Sir or Madam,

Application ref: DC/21/00641

Our ref: 349705

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours faithfully

Corben Hastings  
Support Adviser, Operations Delivery  
Consultations Team  
Natural England

**From:** SM-NE-Consultations (NE) <consultations@naturalengland.org.uk>  
**Sent:** 15 February 2021 09:49  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** Re: DC/21/00641

Dear Sir/Madam

**Application ref:** DC/21/00641  
**Our ref:** 343078

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

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Yours faithfully

Joanne Widgery  
Natural England  
Consultation Service  
Hornbeam House  
Crewe Business Park, Electra Way,  
Crewe, Cheshire, CW1 6GJ

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 07 Jul 2021 10:31:40

**To:**

**Cc:**

**Subject:** FW: DC/21/00641

**Attachments:**

---

**From:** SM-NE-Consultations (NE) <consultations@naturalengland.org.uk>

**Sent:** 07 July 2021 10:15

**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** Re: DC/21/00641

Dear Sir/Madam

**Application ref:** DC/21/00641

**Our ref:** 359078

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

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Yours faithfully

Joanne Widgery  
Natural England  
Consultation Service  
Hornbeam House  
Crewe Business Park, Electra Way,  
Crewe, Cheshire, CW1 6GJ

Tel: 0300 060 3900

Email: [consultations@naturalengland.org.uk](mailto:consultations@naturalengland.org.uk)

[www.gov.uk/natural-england](http://www.gov.uk/natural-england)

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**Please continue to send any documents by email or contact us by phone to let us know how we can help you. See the latest news on the coronavirus at <http://www.gov.uk/coronavirus> or Natural England's regularly updated operational update at <https://www.gov.uk/government/news/operational-update-covid-19>.**

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 19 Nov 2021 12:44:23

**To:**

**Cc:**

**Subject:** FW: Planning consultation DC/21/00641 Natural England response

**Attachments:**

---

**From:** SM-NE-Consultations (NE) <consultations@naturalengland.org.uk>

**Sent:** 19 November 2021 12:31

**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** Planning consultation DC/21/00641 Natural England response

Dear Alex Scott

Application ref: DC/21/00641

Our ref: 374616

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours sincerely

Amy Knafler  
Natural England  
Consultation Service  
Hornbeam House  
Crewe Business Park, Electra Way,  
Crewe, Cheshire, CW1 6GJ

Tel: 0207 764 4488

Email: [consultations@naturalengland.org.uk](mailto:consultations@naturalengland.org.uk)

[www.gov.uk/natural-england](http://www.gov.uk/natural-england)

Thriving Nature  
for people and planet



**From:** Planning Liaison <planningliaison@anglianwater.co.uk>  
**Sent:** 29 April 2021 05:07  
**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Subject:** Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

Dear Alex Scott,

Our Reference: PLN-0120069

Please see below our response for the Reserved Matters application- Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

Foul Water

We have reviewed the applicant's submitted foul drainage strategy and flood risk documentation ) and consider that the impacts on the public foul sewerage network are acceptable to Anglian Water at this stage.

Surface Water

We have reviewed the applicant's submitted surface water drainage information (Flood Risk Assessment/Drainage Strategy) and have found that the proposed method of surface water discharge does not relate to an Anglian Water owned asset. As such, it is outside of our jurisdiction and we are unable to provide comments on the suitability of the surface water discharge. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented. A connection to the public surface water sewer may only be permitted once the requirements of the surface water hierarchy as detailed in Building Regulations Part H have been satisfied. This will include evidence of the percolation test logs and investigations in to discharging the flows to a watercourse proven to be unfeasible.

Please do not hesitate to contact the Planning & Capacity Team on the number below or via email should you have any questions related to our planning application response.

Kind Regards,  
Sushil



**Planning & Capacity Team**

Development Services  
Telephone: 07929 786 955

**Anglian Water Services Limited**

Thorpe Wood House, Thorpe Wood, Peterborough,  
Cambridgeshire, PE3 6WT

\*-----\*  
\*-----\*  
\*-----\*

**From:** Planning Liaison  
**Sent:** 16 February 2021 18:03  
**Subject:** Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

Dear Alex Scott,

Our Reference: PLN-0114685

Please see below our response for the Reserved Matters application - Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

#### Foul Water

We have reviewed the applicant's submitted foul drainage strategy and flood risk documentation and consider that the impacts on the public foul sewerage network are acceptable to Anglian Water at this stage. We request that we are consulted on any forthcoming application to discharge Condition 18 of outline planning application DC/18/00723, to which this Reserved Matters application relates, that require the submission and approval of detailed foul drainage information.

#### Surface Water

We have reviewed the applicant's submitted surface water drainage information (Flood Risk Assessment/Drainage Strategy) and have found that the proposed method of surface water discharge does not relate to an Anglian Water owned asset. As such, it is outside of our jurisdiction and we are unable to provide comments on the suitability of the surface water discharge. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented. A connection to the public surface water sewer may only be permitted once the requirements of the surface water hierarchy as detailed in Building Regulations Part H have been satisfied. This will include evidence of the percolation test logs and investigations in to discharging the flows to a watercourse proven to be unfeasible.

Please do not hesitate to contact the Planning & Capacity Team on the number below or via email should you have any questions related to our planning application response.

Kind Regards,  
Sushil

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 14 Jul 2021 09:11:53

**To:**

**Cc:**

**Subject:** FW: Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

**Attachments:**

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**From:** Planning Liaison <planningliaison@anglianwater.co.uk>

**Sent:** 13 July 2021 19:06

**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Subject:** Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

Dear Alex,

Our Reference: PLN-0126333

Please see below our response for the Reserved Matters application- Land To The East Of Turkeyhall Lane Bacton Suffolk - DC/21/00641

Assets Affected

There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

Foul Water

We have reviewed the applicant's submitted foul drainage strategy documentation and consider that the impact on the public foul sewerage network has not been adequately addressed at this stage. Anglian Water have found that this proposal may result in a increased risk of flooding in the downstream network.

Surface Water

We have reviewed the applicant's submitted surface water drainage information (Flood Risk Assessment/Drainage Strategy) and have found that the proposed method of surface water discharge does not relate to an Anglian Water owned asset. As such, it is outside of our jurisdiction and we are unable to provide comments on the suitability of the surface water discharge. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented. A connection to the public surface water sewer may only be permitted once the requirements of the surface water hierarchy as detailed in Building Regulations Part H have been satisfied. This will include evidence of the percolation test logs and investigations in to discharging the flows to a watercourse proven to be unfeasible.

Please do not hesitate to contact the Planning & Capacity Team on the number below or via email should you have any questions related to our planning application response.

Kind Regards,  
Sushil

Page 40

**Planning & Capacity Team**  
Development Services





**From:** Planning EE <PlanningEE@highwaysengland.co.uk>  
**Sent:** 30 April 2021 14:58  
**To:** BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>  
**Cc:** Spatial Planning <SpatialPlanning@highwaysengland.co.uk>; Hoque, Shamsul <Shamsul.Hoque@highwaysengland.co.uk>  
**Subject:** DC/21/00641 Consultation Response

Dear Sir/Madam

Thank you for your consultation on the above planning application.

We have reviewed the details and information provided. The details and information contained within this Outline Planning Application as such, that there is unlikely to be any adverse effect upon the Strategic Road Network.

Consequently our previous recommendation of **No Objection**, dated 15 February 2021, remains unchanged.

Kind Regards

**Jarod Harrison**

**Spatial Planning | Operations (east) Highways England**

Highways England | Woodlands | Manton Lane | Bedford | MK41 7LW

Email; [planningEE@highwaysengland.co.uk](mailto:planningEE@highwaysengland.co.uk)

Web: <http://www.highways.gov.uk>

For any planning related matters please email [PlanningEE@highwaysengland.co.uk](mailto:PlanningEE@highwaysengland.co.uk)

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Keep up to date with our roads projects at [Highways England East Road Projects](#)

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**Highways England Company Limited | General enquiries: 0300 123 5000 | National Traffic Operations Centre, 3 Ridgeway, Quinton Business Park, Birmingham B32 1AF |**



## Developments Affecting Trunk Roads and Special Roads

### Highways England Planning Response (HEPR 16-01)

### Formal Recommendation to an Application for Planning Permission

From: Martin Fellows  
Operations (East)  
[planningee@highwaysengland.co.uk](mailto:planningee@highwaysengland.co.uk)

To: Mid Suffolk District Council

CC: [growthandplanning@highwaysengland.co.uk](mailto:growthandplanning@highwaysengland.co.uk)

Council's Reference: DC/21/00641

Referring to the planning application referenced above, dated 9 February 2021, Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkey Hall Lane, provision of Public Open Space and associated Infrastructure, at land to the east of Turkey Hall Lane, Bacton, Suffolk. Notice is hereby given that Highways England's formal recommendation is that we:

- a) offer no objection;
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A – Highways England recommended Planning Conditions);~~
- ~~c) recommend that planning permission not be granted for a specified period (see Annex A – further assessment required);~~
- ~~d) recommend that the application be refused (see Annex A – Reasons for recommending Refusal).~~

Highways Act Section 175B is ~~is~~ not relevant to this application.<sup>1</sup>

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<sup>1</sup> Where relevant, further information will be provided within Annex A.

This represents Highways England formal recommendation and is copied to the Department for Transport as per the terms of our Licence.

Should you disagree with this recommendation you should consult the Secretary of State for Transport, as per the Town and Country Planning (Development Affecting Trunk Roads) Direction 2018, via [transportplanning@dft.gov.uk](mailto:transportplanning@dft.gov.uk).

<b>Signature:</b> S. H.	<b>Date:</b> 15 February 2021
<b>Name:</b> Shamsul Hoque	<b>Position:</b> Assistant Spatial Planner
<b>Highways England:</b> Woodlands, Manton Lane Bedford MK41 7LW  <a href="mailto:shamsul.hoque@highwaysengland.co.uk">shamsul.hoque@highwaysengland.co.uk</a>	

## **Annex A Highways England Recommended No Objection**

HIGHWAYS ENGLAND has been appointed by the Secretary of State for Transport as strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

This response represents our formal recommendations with regards to DC/21/00641 and has been prepared by Shamsul Hoque.

With this proposed development application, there would be no impact on the Strategic Road Network. Therefore, we offer no objection.



## Developments Affecting Trunk Roads and Special Roads

### Highways England Planning Response (HEPR 16-01)

### Formal Recommendation to an Application for Planning Permission

From: Martin Fellows  
Operations (East)  
[planningee@highwaysengland.co.uk](mailto:planningee@highwaysengland.co.uk)

To: Mid Suffolk District Council

CC: [growthandplanning@highwaysengland.co.uk](mailto:growthandplanning@highwaysengland.co.uk)

Council's Reference: DC/21/00641

Referring to the planning application referenced above, dated 1 July 2021, Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure, Land To The East Of Turkeyhall Lane, Bacton, Suffolk, Notice is hereby given that Highways England's formal recommendation is that we:

- a) offer no objection;
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A – Highways England recommended Planning Conditions);~~
- ~~c) recommend that planning permission not be granted for a specified period (see Annex A – further assessment required);~~
- ~~d) recommend that the application be refused (see Annex A – Reasons for recommending Refusal).~~

Highways Act Section 175B ~~is~~ / is not relevant to this application.<sup>1</sup>

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<sup>1</sup> Where relevant, further information will be provided within Annex A.

**Signature: A.Lawman**

**Date: 19/06/2021**

**Name:** Alice Lawman

**Position:** Assistant Spatial Planner

**Highways England:**

Woodlands, Manton Lane  
Bedford MK41 7LW

[Alice.lawman@highwaysengland.co.uk](mailto:Alice.lawman@highwaysengland.co.uk)

## **Annex A**

HIGHWAYS ENGLAND has been appointed by the Secretary of State for Transport as strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

This response represents our formal recommendations with regard DC/21/00641 and has been prepared by Alice Lawman.

Due to the location and nature of the proposed development, it is considered unlikely to have a material impact on the SRN. Consequently, we offer no objection to this application.

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 26 Nov 2021 08:40:01

**To:**

**Cc:**

**Subject:** FW: 2021 11 16 Consultation Response from National Highways DC/21/00641

**Attachments:**

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**From:** Hoque, Shamsul <Shamsul.Hoque@highwaysengland.co.uk>

**Sent:** 16 November 2021 12:21

**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Subject:** 2021 11 16 Consultation Response from National Highways DC/21/00641

Dear Sir/Madam

**Application Ref:** DC/21/00641

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk.

Thank you for your re-consultation on the above planning application, dated 09 November 2021.

We have reviewed the details and information provided. The amendments proposed to this planning application are not in conflict with National Highway's (former Highways England) previous formal response, dated 19 June 2021, recommending No Objection.

Consequently, our previous recommendation of No Objection remains unchanged.

We offer no objection.

Regards

**Shamsul Hoque** (Dr), Assistant Spatial Planner  
Spatial Planning Team  
Operations (East) | National Highways (former, Highways England)  
Woodlands | Manton Lane | Bedford | MK41 7LW  
Contact phone: 0300 470 0743; mobile: 07850 907600  
Web: [www.highwaysengland.co.uk](http://www.highwaysengland.co.uk)

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**Highways England Company Limited | General enquiries: 0300 123 5000 | National Traffic Operations Centre, 3 Ridgeway, Quinton Business Park, Birmingham B32 1AF |**  
<https://www.gov.uk/government/organisations/highways-england> | [info@highwaysengland.co.uk](mailto:info@highwaysengland.co.uk)

Registered in England and Wales no 9346363 | Registered Office: Bridge House, 1 Walnut Tree Close, Guildford, Surrey GU1 4LZ

**From:** Seana Heaney

**Sent:** 20 April 2021 10:43

**Subject:** Network Rail Consultation Response: DC/21/00641 - Land to the East of Turkeyhall Lane  
Bacton Suffolk

OFFICIAL

Dear Sir/Madam,

Thank you for consulting Network Rail regarding the above application.

Following Network Rail's previous consultation response dated 22/02/2021, I would like to inform you that Network Rail have no objections to the proposals.

Kind regards,



**Seana Heaney**

Town Planning Technician

Network Rail Property (Eastern Region - Anglia)

A: 1 Stratford Place | London | E15 1AZ

**From:** Seana Heaney <Seana.Heaney@networkrail.co.uk>  
**Sent:** 22 February 2021 09:31  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Cc:** TownPlanningAnglia <TownPlanningAnglia@networkrail.co.uk>  
**Subject:** Network Rail Consultation Response: DC/21/00641 - Land to the East of Turkeyhall Lane, Bacton, Suffolk

OFFICIAL

Dear Sir/Madam,

Thank you for consulting Network Rail regarding the above application.

After reviewing the associated information, I would like to inform you that Network Rail have no objections to the proposals.

Kind regards,



**Seana Heaney**

Town Planning Technician

Network Rail Property (Eastern Region - Anglia)

A: 1 Stratford Place | London | E15 1AZ

M: 07395 390449

E: [seana.heaney@networkrail.co.uk](mailto:seana.heaney@networkrail.co.uk)

W: [www.networkrail.co.uk/property](http://www.networkrail.co.uk/property)

\*\*\*\*\*  
\*\*\*\*\*



**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Sent:** 05 Jul 2021 11:12:43  
**To:**  
**Cc:**  
**Subject:** FW: Network Rail Consultation Response: DC/21/00641 - Land to the east of Turkeyhall Lane  
**Attachments:**

---

**From:** Seana Heaney <Seana.Heaney@networkrail.co.uk>  
**Sent:** 05 July 2021 09:19  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Cc:** TownPlanningAnglia <TownPlanningAnglia@networkrail.co.uk>  
**Subject:** Network Rail Consultation Response: DC/21/00641 - Land to the east of Turkeyhall Lane

OFFICIAL

Dear Sir/Madam,

Thank you for consulting Network Rail regarding the above application.

Following Network Rail's previous consultation response dated 20/04/2021, I would like to inform you that Network Rail have no objections to the proposals.

Kind regards,



**Seana Heaney**  
Town Planning Technician  
Network Rail Property (Eastern Region - Anglia)  
**A:** 1 Stratford Place | London | E15 1AZ  
**M:** 07395 390449  
**E:** [seana.heaney@networkrail.co.uk](mailto:seana.heaney@networkrail.co.uk)  
**W:** [www.networkrail.co.uk/property](http://www.networkrail.co.uk/property)

\*\*\*\*\*  
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\*\*\*\*\*  
\*\*\*\*\*

**From:** Dalia Alghoul  
**Sent:** 09 November 2021 12:06  
**Subject:** Network Rail Consultation Response - DC/21/00641

OFFICIAL

Dear Sir/Madam,

Thank you for consulting Network Rail regarding the above application.

We have previously responded to this application on

Should you have any further questions, please do not hesitate to contact Network rail.

Kind Regards,



Dalia Alghoul  
Town Planning Technician  
Network Rail Property (Eastern Region - Anglia)  
A: 1 Stratford Place | London | E15 1AZ

**From:** planning.apps <planning.apps@suffolk.nhs.uk>  
**Sent:** 25 February 2021 17:49  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641

Please find attached a revised response to the updated planning application DC/21/00641 from the CCG.

Regards

**Chris Crisell**

Estates Project Manager  
Ipswich & East Suffolk CCG & West Suffolk CCG  
Endeavour House, 8 Russell Road, Ipswich, IP1 2BX  
[chris.crisell@suffolk.nhs.uk](mailto:chris.crisell@suffolk.nhs.uk)  
01473 770284  
07984612282  
[www.westsuffolkccg.nhs.uk](http://www.westsuffolkccg.nhs.uk)  
[www.ipswichandeastsuffolkccg.nhs.uk](http://www.ipswichandeastsuffolkccg.nhs.uk)

**From:** planning.apps  
**Sent:** 15 July 2021 14:34  
**Subject:** DC/21/00641

With regards to this planning application, the CCG commented previously in February this year and is of the opinion that still is up to date. The CCG will therefore not be submitting further responses to this planning application until this is no longer the case.

Regards

**CCG Estates Planning**  
Ipswich & East Suffolk CCG & West Suffolk CCG

Your Ref:DC/21/00641  
Our Ref: SCC/CON/1674/21  
Date: 20 May 2021



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Alex Scott

Dear Alex

**TOWN AND COUNTRY PLANNING ACT 1990**

**CONSULTATION RETURN: DC/21/00641**

**PROPOSAL:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**LOCATION:** Land To The East Of Turkeyhall Lane Bacton, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

- The latest Drawing No 019 - 029 - 201P17 indicates new swales on the main access road and the removal of the footway linking the site to Turkey Hall Lane. Although there are no footways on Turkey Hall Lane, the pedestrian who wishes to walk north will need to walk on the road of the development to the access; we would recommend a footway is supplied on the north side of the access road as a minimum requirement.
- 1m wide verge is required between the carriageway edge and the swale top as a minimum;
- the applicant is reminded that statutory undertakers plant is not to be placed in the maintenance strips of the Shared Surface Roads.
- as previously stated, full details on highway details, finishes and construction within the site will be agreed with the Highway Authority under s38 of Highways Act 1980 agreement and maybe subject to change if the site is offered for adoption.

Yours sincerely,

**Samantha Harvey**  
**Senior Development Management Engineer**  
Growth, Highways and Infrastructure

**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Alex Scott

Dear Alex,

**TOWN AND COUNTRY PLANNING ACT 1990**

**CONSULTATION RETURN: DC/21/00641**

**PROPOSAL:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**LOCATION:** Land To The East Of Turkeyhall Lane Bacton Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

- Dimensions of the proposed roads and footways have not been supplied. By scaling, the widths are to Suffolk Design Guide. However, we recommend the footway widths are increased to 2.0m (as outlined in Manual for Streets).
- Department for Transport Local Transport Note 1/20 (LTN1/20) was published in July 2020 where 'cycling will play a far bigger part in our transport system from now on'. This national guidance aims to help cycling become a form of mass transit. However, there are no cycle routes in the village so it is difficult to ask for wider shared footways in the site to accommodate cycling.
- the shared surface roads are to have a maintenance strip 1m wide each side of the carriageway which allows the highway to be maintained and erection of street lighting. If these strips are to be considered for utility services plant, the strips need to be widened to 2m.
- Full details on highway details, finishes and construction within the site will be agreed with the Highway Authority under s38 of Highways Act 1980 agreement if the site is offered for adoption. All off site works will require s278 agreement.
- Parking - dimensions of the parking spaces and garages have not been specified; a standard car parking space is 2.5m x 5.0m and a standard garage is 3.0m x 7.0m. By scaling, they are to the correct size.
- Hedging proposed adjacent to the back of footways are to be planted with sufficient room to allow growth, so they do not overhang the footway.
- Dimensions have not been supplied for the trees locations; All trees to have 2.5m minimum offset from the edge of the adoptable highway and should have root protection. The trees should also not interfere with street lighting.

Conditions for outline planning permission DC/18/00723 relating to highways are as follows:

Condition 4 - PROVISION OF VISIBILITY SPLAYS

Condition 5 - SURFACE WATER DISCHARGE PREVENTION DETAILS REQUIRED

Condition 6 - PROVISION OF ROADS AND FOOTPATHS

Condition 7 - PROVISION OF ROADS TO BINDER LEVEL

Condition 8 - DELIVERIES MANAGEMENT PLAN

Condition 9 - PROVISION OF CAR PARKING

Condition 10 - REFUSE BINS AND COLLECTION AREAS

Condition 11 - OFF-SITE HIGHWAY WORKS

Condition 13 - CONSTRUCTION MANAGEMENT TO BE AGREED

Yours sincerely,

**Samantha Harvey**

**Senior Development Management Engineer**

Growth, Highways and Infrastructure

Your Ref:DC/21/00641  
Our Ref: SCC/CON/3052/21  
Date: 7 July 2021



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Alex Scott

Dear Alex

## **TOWN AND COUNTRY PLANNING ACT 1990**

**CONSULTATION RETURN:** DC/21/00641

**PROPOSAL:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**LOCATION:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

Notice is hereby given that the County Council as Highway Authority make the following comments:

The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate Roads.

There are a number of locations where soft landscaping is proposed within visibility splays for private accesses (especially on the inside of bends). Species of planting will need to be considered so that they are not over 600mm high. We suggest that these locations are grassed areas.

Yours sincerely,

**Samantha Harvey**  
**Senior Development Management Engineer**  
Growth, Highways and Infrastructure



Your Ref:DC/21/00641  
Our Ref: SCC/CON/3334/21  
Date: 29 July 2021



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Alex Scott

Dear Alex

## **TOWN AND COUNTRY PLANNING ACT 1990**

**CONSULTATION RETURN:** DC/21/00641

**PROPOSAL:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**LOCATION:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

- Drawing No. 019-029-201 Rev P19 shows a suitable pedestrian link for the new residents to Turkey Hall Lane.
- Exact details of swales and offsets can be agreed as part of the s38 process so the drainage layout is acceptable

Taking the above into account, the County Council as Highways Authority, does not wish to restrict the grant of permission.

Yours sincerely,

**Samantha Harvey**

**Senior Development Management Engineer**

Growth, Highways and Infrastructure

Your Ref: DC/21/00641  
Our Ref: SCC/CON/5132/21  
Date: 30 November 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Alex Scott

Dear Alex,

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/00641**

**PROPOSAL:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure

**LOCATION:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk

Notice is hereby given that the County Council as Highways Authority does not wish to restrict the grant of permission due to the application not having a detrimental effect upon the adopted highway.

Yours sincerely,

**Samantha Harvey**  
**Principle Engineer (Technical Approval)**

Growth, Highways and Infrastructure

**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>

**Sent:** 11 May 2021 09:19

**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>

**Subject:** 2021-05-11 JS reply Land To The East Of Turkey hall Lane, Bacton Ref DC/21/00641 - RMA

Dear Alex Scott,

Subject: Land To The East Of Turkey hall Lane, Bacton Ref DC/21/00641 - Reserved Matter Application

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend **approval of this application.**

- Site Layout Plan C Ref 019 - 029 – 201 P14
- Location Plan Ref 015 - 023 – 001 rev A
- Drainage Design Statement ref 49655 Rev B
- Landscaping Schedule and Landscape Management Plan Rev E
- Drainage Maintenance Regime Ref 49655 Rev A
- Catchment Assessment – Surface Water Drainage Ref 49655 Rev A
- SuDS health and Safety Risk Assessment Checklist

We would like to make the applicant aware of the following informatives.

- Any works to a watercourse may require consent under section 23 of the Land Drainage Act 1991
- Any discharge to a watercourse or groundwater needs to comply with the Water Environment (Water Framework Directive) (England and Wales) Regulations 2017
- Any discharge of surface water to a watercourse that drains into an Internal Drainage Board district catchment is subject to payment of a surface water developer contribution
- Any works to lay new surface water drainage pipes underneath the public highway will need a licence under section 50 of the New Roads and Street Works Act
- Any works to a main river may require an environmental permit

Kind Regards

Jason Skilton  
Flood & Water Engineer  
Suffolk County Council  
Growth, Highway & Infrastructure  
Endeavour House, 8 Russell Rd, Ipswich , Suffolk IP1 2BX

**\*\*Note I am remote working for the time being\*\***

**From:** GHI Floods Planning

**Sent:** 20 April 2021 09:20

**Subject:** 2021-04-20 JS Reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 RMA

Dear Alex Scott,

Subject: Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 - Reserved Matter Application

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend maintaining our **holding objection** at this time:

- Site Layout Plan C Ref 019 - 029 – 201 P14
- Location Plan Ref 015 - 023 – 001 rev A
- Drainage Design Statement ref 49655 Rev A
- Landscaping Schedule and Landscape Management Plan Rev E
- Drainage Maintenance Regime Ref 49655 Rev A
- Catchment Assessment – Surface Water Drainage Ref 49655 Rev A

A holding objection is recommended as there is still some points unanswered from the previous consultation reply and some errors in submitted documents still exist.

The points below detail the action required in order to overcome our current objection:-

1. Submit a revised layout depicting a above ground open SuDs system for collection, conveyance, storage and discharge that provided the four pillars of SuDs or
2. Submit evidence why a full SuDs system is not appropriate for this development
3. Resubmit the Attenuation basin section dwg ref 49655/C/60 A as section 1-1 section through attenuation basin and General Arrangement Sheet 2 of 3 Ref 49655/C/02 as they still reference 1:3 side slopes
  - a) basin side slopes shall be no greater than 1:4
4. Submit a CDM designers risk assessment for all open SuDs features

Kind Regards

Jason Skilton  
Flood & Water Engineer  
Suffolk County Council  
Growth, Highway & Infrastructure

**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>  
**Sent:** 15 February 2021 11:46  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Subject:** 2021-02-15 JS reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 RMA

Dear Alex Scott,

Subject: Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 - Reserved Matter Application

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend a **holding objection** at this time:

- Site Layout Plan C Ref 019 - 029 – 201 P11
- Location Plan Ref 015 - 023 – 001 rev A
- General Arrangement Sheet 1 of 3 Ref 49655/C/01
- General Arrangement Sheet 2 of 3 Ref 49655/C/02
- General Arrangement Sheet 3 of 3 Ref 49655/C/03
- Drainage Design Statement ref 49655 Rev

A holding objection is necessary because the applicant is proposing to utilise a hybrid SuDs system and there is significant issues with the proposed location and layout of the surface water drainage features. The basin in the western part of the proposed development is not ideally located with regard to safety. Basin should be overlooked by the development and therefore the site layout will have to be altered to ensure that the basin is overlooked by dwellings.

The applicant is also proposing to culvert sections of watercourse, whilst the consent for works to a watercourse is not a planning matter, the proposed works could have a impact on the proposed layout. Therefore, the applicant will need to provide evidence why the watercourse has to be culverted rather than bridged at the proposed locations. By culverting a watercourse, this could have flood risk and ecological impacts.

**The holding objection is a temporary position to allow reasonable time for the applicant and the LLFA to discuss what additional information is required in order to overcome the objection(s). This Holding Objection will remain the LLFA's formal position until the local planning authority (LPA) is advised to the contrary. If the LLFA position remains as a Holding Objection at the point the LPA wishes to determine the application, the LPA should treat the Holding Objection as a Formal Objection and recommendation for Refusal to the proposed development. The LPA should provide at least 2 weeks prior notice of the publication of the committee report so that the LLFA can review matters and provide suggested planning conditions, even if the LLFA position is a Formal Objection.**

The points below detail the action required in order to overcome our current objection:-

1. Submit a revised layout depicting a above ground open SuDs system for collection, conveyance, storage and discharge that provided the four pillars of SuDs or

2. Submit evidence why a full SuDs system is not appropriate for this development
3. Resubmit the General Arrange Drawings depicting basin's with the following; max side slopes of 1:4, 1.5m width wet/dry benches ever 0.6m depth of water, freeboard. 3m maintenance around the basin
  - a. A cross sectional drawing should be provided as well as the plan view
4. Demonstrate how a outfall which discharges at 1l/s will not be regularly blocked.
5. Submit a landscaping and establishment plan for the first five years for the SuDs features
  - a. Suffolk SuDs Palette, guidance can be found here:  
<https://www.suffolk.gov.uk/assets/Roads-and-transport/Flooding-and-drainage/Suffolk-Suds-Palette-002.pdf>
6. Submit a revised Drainage Design Statement, depicting the access across the watercourse are bridged (single span) or
7. Demonstrating why the section of the watercourse have to be culverted rather
8. Submit a CDM designers risk assessment for all open SuDs features

Kind Regards

Jason Skilton  
Flood & Water Engineer  
Suffolk County Council  
Growth, Highway & Infrastructure  
Endeavour House, 8 Russell Rd, Ipswich , Suffolk IP1 2BX

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 06 Jul 2021 09:13:04

**To:**

**Cc:**

**Subject:** FW: 2021-07-06 JS reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641

**Attachments:**

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**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>

**Sent:** 06 July 2021 07:36

**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Cc:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>

**Subject:** 2021-07-06 JS reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641

Dear Alex Scott,

Subject: Land To The East Of Turkey hall Lane, Bacton Ref DC/21/00641 - Reserved Matter Application

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend **approval** of this application.

- Site Layout Plan C Ref 019 - 029 – 201 P19
- Location Plan Ref 015 - 023 – 001 rev A
- Drainage Design Statement ref 49655 Rev B
- Landscaping Schedule and Landscape Management Plan Rev E
- Drainage Maintenance Regime Ref 49655 Rev A
- Catchment Assessment – Surface Water Drainage Ref 49655 Rev A
- SuDS health and Safety Risk Assessment Checklist
- General Arrangement Sheets 1 to 3 Ref 49655/C/01C, 02C, & 03C

Kind Regards

Jason Skilton

Flood & Water Engineer

Suffolk County Council

Growth, Highway & Infrastructure

Endeavour House, 8 Russell Rd, Ipswich , Suffolk IP1 2BX

**\*\*Note I am remote working for the time being\*\***

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 10 Nov 2021 09:34:55

**To:**

**Cc:**

**Subject:** FW: 2021-11-10 JS Reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 ARM

**Attachments:**

---

**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>

**Sent:** 10 November 2021 08:26

**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>

**Subject:** 2021-11-10 JS Reply Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 ARM

Dear Alex Scott,

Subject: Land To The East Of Turkeyhall Lane, Bacton Ref DC/21/00641 Application for Reserved Matters

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend a holding objection of this application.

- Site Layout Plan C Ref 019 - 029 – 201 P20
- Location Plan Ref 015 - 023 – 001 rev A
- Drainage Design Statement ref 49655 Rev B
- Landscaping Schedule and Landscape Management Plan Rev G
- Drainage Maintenance Regime Ref 49655 Rev B
- Catchment Assessment – Surface Water Drainage Ref 49655 Rev A
- SuDS health and Safety Risk Assessment Checklist
- General Arrangement Sheets 1 to 3 Ref 49655/C/01D, 02D, & 03C
- Attenuation Basin Sections 49655/C/60 C

A holding objection is necessary because the alteration to the basin has resulted in the wet/dry benches not being as per the design criteria i.e. 1.5m wet/dry benches are required every 0.6m depth of water.

**The holding objection is a temporary position to allow reasonable time for the applicant and the LLFA to discuss what additional information is required in order to overcome the objection(s). This Holding Objection will remain the LLFA's formal position until the local planning authority (LPA) is advised to the contrary. If the LLFA position remains as a Holding Objection at the point the LPA wishes to determine the application, the LPA should treat the Holding Objection as a Formal Objection and recommendation for Refusal to the proposed development. The LPA should provide at least 2 weeks prior notice of the publication of the committee report so that the LLFA can review matters and provide suggested planning conditions, even if the LLFA position is a Formal Objection.**

The point below detail the action required in order to overcome our current objection:-

1. Amend the basin design to ensure that the wet/dry benches are every 0.6m depth of water.

Kind Regards

Jason Skilton

Flood & Water Engineer

Suffolk County Council

Growth, Highway & Infrastructure

Endeavour House, 8 Russell Rd, Ipswich, Suffolk IP1 2BX

-----Original Message-----

From: [planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk) <[planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk)>

Sent: 09 November 2021 11:30

To: GHI Floods Planning <[floods.planning@suffolk.gov.uk](mailto:floods.planning@suffolk.gov.uk)>

Subject: MSDC Planning Re-consultation Request - DC/21/00641



Please find attached planning re-consultation request letter relating to planning application - DC/21/00641 - Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

Kind Regards

Planning Support Team

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**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 16 Nov 2021 01:23:23

**To:**

**Cc:**

**Subject:** FW: 2021-11-16 Land To The East Of Turkeyhall Lane, Bacton, Suffolk Ref DC/21/00641 ARM

**Attachments:**

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**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>

**Sent:** 16 November 2021 10:53

**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>

**Subject:** 2021-11-16 Land To The East Of Turkeyhall Lane, Bacton, Suffolk Ref DC/21/00641 ARM

Dear Alex Scott,

Subject: Land To The East Of Turkeyhall Lane, Bacton, Suffolk Ref DC/21/00641 Application for Reserved Matters

Suffolk County Council, as Lead Local Flood Authority (LLFA), have reviewed application ref DC/21/00641.

The following submitted documents have been reviewed and we recommend **approval** of this applications

- Site Layout Plan C Ref 019 - 029 – 201 P20
- Location Plan Ref 015 - 023 – 001 rev A
- Drainage Design Statement ref 49655 Rev B
- Landscaping Schedule and Landscape Management Plan Rev G
- Drainage Maintenance Regime Ref 49655 Rev B
- Catchment Assessment – Surface Water Drainage Ref 49655 Rev A
- SuDS health and Safety Risk Assessment Checklist
- General Arrangement Sheets 1 to 3 Ref 49655/C/01E, 02E, & 03C
- Attenuation Basin Sections 49655/C/60 D

Kind Regards

Jason Skilton

Flood & Water Engineer

Suffolk County Council

Growth, Highway & Infrastructure

Endeavour House, 8 Russell Rd, Ipswich , Suffolk IP1 2BX

**\*\*Note I am remote working for the time being\*\***

-----Original Message-----

**From:** [planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk) <[planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk)>

**Sent:** 11 November 2021 15:53

**To:** GHI Floods Planning <[floods.planning@suffolk.gov.uk](mailto:floods.planning@suffolk.gov.uk)>

**Subject:** MSDC Planning Re-consultation Request - DC/21/00641

Please find attached planning re-consultation request letter relating to planning application - DC/21/00641 - Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

Kind Regards

Planning Support Team

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information in this email that do not relate to the official business of Babergh District Council and/or Mid Suffolk District Council shall be understood as neither given nor endorsed by Babergh District Council and/or Mid Suffolk District Council.

Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested.

For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

Dear Alex,

Thank you for the re-consultation.

We have received and approved a report of archaeological evaluation results for this development. Although archaeological remains were encountered, it is unlikely that further investigation would add significantly to this new information.

We have no comments to make regarding the amended documents.

Regards,

Gemma

**Gemma Stewart**  
Senior Archaeological Officer

Suffolk County Council Archaeological Service  
Bury Resource Centre  
Hollow Road  
Bury St Edmunds  
Suffolk IP32 7AY

**From:** Gemma Stewart <Gemma.Stewart@suffolk.gov.uk>  
**Sent:** 15 February 2021 08:35  
**To:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641 - Land to the East of Turkeyhall Lane, Bacton

Dear Vincent,

Thank you for the re-consultation. It does not affect our previous advice (attached).

Please let us know if you require anything further.

Regards,

Gemma

**Gemma Stewart**  
Senior Archaeological Officer

Suffolk County Council Archaeological Service  
Bury Resource Centre  
Hollow Road  
Bury St Edmunds  
Suffolk IP32 7AY

Telephone: 01284 741242  
Mobile: 07734978011  
Email: [gemma.stewart@suffolk.gov.uk](mailto:gemma.stewart@suffolk.gov.uk)

Website: <http://www.suffolk.gov.uk/archaeology>  
Suffolk Heritage Explorer: <https://heritage.suffolk.gov.uk>  
Follow us on Twitter: [@SCCArchaeology](https://twitter.com/SCCArchaeology)  
Like us on Facebook: [@SCCArchaeologicalService](https://www.facebook.com/SCCArchaeologicalService)  
Follow us on Instagram: [@SCCArchaeology](https://www.instagram.com/SCCArchaeology)

**From:** Matthew Baker

**Sent:** 08 July 2021 13:03

**Subject:** RESERVED MATTERS - DC/21/00641 Land To The East Of Turkeyhall Lane, Bacton:  
Archaeology

Dear Alex,

The archaeological works were secured by condition 20 of outline application DC/18/00723. The archaeological works have been completed and the condition fulfilled. There will be no requirement for archaeological conditions on the reserved matters application DC/21/00641.

Kind regards,

Matthew

Matthew Baker  
Archaeological Officer

Suffolk County Council Archaeological Service

Dear Alex,

I have no comment to make regarding this application.

Kind regards

**Chris Ward**

Travel Plan Officer

Transport Strategy

Strategic Development - Growth, Highways and Infrastructure

Suffolk County Council

Endeavour House, 8 Russell Road, Ipswich, IP1 2BX

web : <https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/travel-plans/>

**From:** Chris Ward <Chris.Ward@suffolk.gov.uk>  
**Sent:** 09 February 2021 11:33  
**To:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Subject:** RE: MSDC Planning Consultation Request - DC/21/00641

Dear Alex,

Thank you for notifying me about the consultation for the residential development at Land to the East of Turkeyhall Lane in Bacton. On reviewing the documents submitted, I have no comment to make as a Travel Plan, or Travel Plan measures were not secured as part of the original outline application.

Kind regards

**Chris Ward**  
Travel Plan Officer  
Transport Strategy  
Strategic Development - Growth, Highways and Infrastructure  
Suffolk County Council

Endeavour House, 8 Russell Road, Ipswich, IP1 2BX

web : <https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/travel-plans/>



**From:** Chris Ward

**Sent:** 01 July 2021 15:44

**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/00641

Dear Alex,

Thank you for consulting me. I have no comment to add from my previous responses.

Kind regards

**Chris Ward**

Active Travel Officer

Transport Strategy

Strategic Development - Growth, Highways and Infrastructure

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 10 Nov 2021 09:34:12

**To:**

**Cc:**

**Subject:** FW: MSDC Planning Re-consultation Request - DC/21/00641

**Attachments:**

---

**From:** Chris Ward <Chris.Ward@suffolk.gov.uk>

**Sent:** 10 November 2021 07:41

**To:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>

**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/00641

Dear Alex,

Thank you for notifying me about the re-consultation. I have no comment to add from my previous responses.

Kind regards

**Chris Ward**

Active Travel Officer

Transport Strategy

Strategic Development - Growth, Highways and Infrastructure

Suffolk County Council

Endeavour House, 8 Russell Road, Ipswich, IP1 2BX

web : <https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/travel-plans/>

Your ref: DC/21/00641  
Our ref: 41599  
Date: 4<sup>th</sup> May 2021  
Enquiries: Marcus Shingler  
Tel: 01473 263074  
Email: [Marcus.Shingler@suffolk.gov.uk](mailto:Marcus.Shingler@suffolk.gov.uk)

**By email only:**

[alex.scott@baberghmidsuffolk.gov.uk](mailto:alex.scott@baberghmidsuffolk.gov.uk)

Dear Alex,

**Bacton: DC/21/00641 - land to the east of Turkeyhall Lane – reserved matters.**

I refer to the proposal: submission of details (reserved matters) in relation to outline planning permission DC/18/00723. Appearance, landscaping, layout, and scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of public open space and associated infrastructure.

Outline planning permission was granted under reference DC/18/00723. As stated previously, in respect of infrastructure the county council will make a future bid for CIL funds if the development is built out.

I have no comments to make on this application. However, I have copied to colleagues who deal with highways, floods planning, and archaeological matters as they will have comments to make on this application.

Yours sincerely,

*M. Shingler*

Marcus Shingler MRTPI AMICE  
Development Contributions Consultant  
Growth, Highways & Infrastructure Directorate

cc Carol Barber, Suffolk County Council (education)  
Ben Chester, Suffolk County Council (highways)  
Floods Planning, Suffolk County Council  
Suffolk Archaeology

Your ref: DC/21/00641  
Our ref: Bacton – land to the east of Turkeyhall  
Lane 41599  
Date: 09 February 2021  
Enquiries: Neil McManus  
Tel: 07973 640625  
Email: [neil.mcmanus@suffolk.gov.uk](mailto:neil.mcmanus@suffolk.gov.uk)

Alex Scott,  
Growth & Sustainable Planning,  
Babergh and Mid Suffolk District Councils,  
Endeavour House,  
8 Russell Road,  
Ipswich,  
Suffolk,  
IP1 2BX

Dear Alex,

**Bacton: land to the east of Turkeyhall Lane – reserved matters**

I refer to the proposal: submission of details (reserved matters) in relation to outline planning permission DC/18/00723. Appearance, landscaping, layout, and scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of public open space and associated infrastructure.

Outline planning permission was granted under reference DC/18/00723. In respect of infrastructure the county council will make a future bid for CIL funds if the development is built out.

I have no comments to make on this application. However, I have copied to colleagues who deal with highways, floods planning, and archaeological matters as they will have comments to make on this application.

Yours sincerely,



Neil McManus BSc (Hons) MRICS  
Development Contributions Manager  
Growth, Highways & Infrastructure Directorate

cc Carol Barber, SCC (education)  
Sam Harvey, SCC (highways)  
Jason Skilton, SCC (LLFA)  
Suffolk Archaeological Service

Your ref: DC/21/00641  
Our ref: Land East of Turkeyhall Lane, Bacton  
41599  
Date: 9 August 2021  
Enquiries: Andrew Sierakowski  
Tel: 01746 718799  
Email: [andrew.sierakowski@suffolk.gov.uk](mailto:andrew.sierakowski@suffolk.gov.uk)

Alex Scott  
Planning Officer  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

Dear Alex

## **Town and Country Planning Act 1990**

### **Consultation on Planning Application Ref. DC/21/00641**

**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure, Land to the East of Turkeyhall Lane, Bacton**

I refer to your consultation letter of 1<sup>st</sup> July 2021 regarding the above application. Apologies for the delay in responding. Marcus Singler returned the initial comments to you on this application in his letter of 4<sup>th</sup> May 2021.

The County Council has no further comments to make on the additional submitted information in relation to any requirements for developer contributions. You will have received separate comments from the County Council as LLFA, Highways Authority, including the Active Travel Officer and SCC Archaeological Service, who's comments you should take into account.

Yours sincerely,



Andrew Sierakowski  
Consultant Planner  
Growth, Highways & Infrastructure Directorate

Your ref: DC/21/00641  
Our ref: Bacton – land to the east of Turkey  
Hall Lane 41599  
Date: 12 November 2021  
Enquiries: Neil McManus  
Tel: 07973 640625  
Email: [neil.mcmanus@suffolk.gov.uk](mailto:neil.mcmanus@suffolk.gov.uk)

Alex Scott,  
Growth & Sustainable Planning,  
Babergh and Mid Suffolk District Councils,  
Endeavour House,  
8 Russell Road,  
Ipswich,  
Suffolk,  
IP1 2BX

Dear Alex,

**Bacton: land to the east of Turkey Hall Lane – reserved matters**

I refer to the proposal: submission of details (reserved matters) in relation to outline planning permission DC/18/00723. Appearance, landscaping, layout, and scale for the erection of up to 51 dwellings, highway improvements including widening of Turkey Hall Lane, provision of public open space and associated infrastructure.

Reason(s) for re-consultation: revised plans and documents received 05.11.21.

I previously responded by way of letter dated 09 February 2021. I have no further comments to make on this application. However, I have copied to colleagues who deal with highways, floods planning, and archaeological matters as they will have comments to make on this application.

Yours sincerely,



Neil McManus BSc (Hons) MRICS  
Development Contributions Manager  
Growth, Highways & Infrastructure Directorate

cc Ben Chester, SCC (highways)  
Jason Skilton, SCC (LLFA)  
Suffolk Archaeological Service

-----Original Message-----

From: Water Hydrants Sent: 13 April 2021 15:13

Subject: FW: MSDC Planning Re-consultation Request - DC/21/00641

Fire Ref.: F310986

Good Afternoon,

Hope you are well.

Thank you for your letter regarding the Submission of Details (Reserved Matters), for the original planning application DC/18/00723.

The Suffolk Fire and Rescue Service do not need to re-comment. Condition 21 under the original Decision Notice can be brought forward.

If you have any queries, please let us know.

Kind regards,

A Stordy

BSC

Admin to Water Officer

Engineering

Fire and Public Safety Directorate

**From:** Water Hydrants

**Sent:** 03 March 2021 08:54

**Subject:** FW: Planning application consultation request - DC/21/00641

Fire Ref.: F310986

Good Morning,

Thank you for your letter regarding planning application DC/21/00641 for Turkey Hall Lane, Bacton (original planning application DC/18/00723).

The Suffolk Fire & Rescue Service do not need to comment on the Reserved Matters covered by DC/21/00641. We are interested in Condition 21 for Fire Hydrants.

If you have any queries, please let us know.

Kind regards,

A Stordy

BSC

Admin to Water Officer

Engineering

Fire and Public Safety Directorate

Suffolk County Council



**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Sent:** 09 Nov 2021 02:57:20  
**To:**  
**Cc:**  
**Subject:** FW: MSDC Planning Re-consultation Request - DC/21/00641  
**Attachments:**

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-----Original Message----- From: Water Hydrants Sent: 09 November 2021 13:21 To: BMSDC Planning Area Team Yellow Subject: FW: MSDC Planning Re-consultation Request - DC/21/00641 Fire Ref.: F310986 FAO: Alex Scott  
Good Afternoon, Thank you for your letter regarding the re-consultation for this site. Please ensure that Condition 21 on the original Decision Notice, for planning application DC/18/00723, follows this build to its conclusion. If you have any queries, please let us know, quoting the above Fire Ref. number. Kind regards, A Stordy Admin to Water Officer Fire and Public Safety Directorate, SCC 3rd Floor, Lime Block, Endeavour House Russell Road, IP1 2BX

**From:** Thomas Pinner

**Sent:** 23 April 2021 16:12

**Subject:** DC/21/00641 Land to the East of Turkeyhall Lane, Bacton Amended

Hi Alex,

DC/21/00641

It does not appear that any additional information has been submitted on the appearance of the Foul Pumping Station at this stage. Therefore, please continue to refer to my original comments in this regard. Otherwise, I raise no further concerns.

Kind Regards,

**Thomas Pinner BA(Hons), MA, MA**  
Heritage and Design Officer  
Babergh and Mid Suffolk District Councils

**From:** Thomas Pinner <Thomas.Pinner@babberghmidsuffolk.gov.uk>  
**Sent:** 05 March 2021 10:26  
**To:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641 Land to the East of Turkeyhall Lane, Bacton Reserved Matters

Hi Alex,

DC/21/00641

It does not appear that any information has been submitted on the overall scale, design and appearance of the 'Foul Pumping Station' – I note that it is stated that this is 'subject to detailed design by pump provider' but I am not sure why this has not been submitted at this stage. I am not familiar with these structures, so am not sure what these typically look like. As this would be the closest structure to Turkey Hall (Grade II), this is the structure that I have most concerns about. I therefore request more information on its design and appearance, so that I can fully assess the application. I do not consider that details of its overall scale, design and appearance could be left to condition stage.

Otherwise, I raise no particular concerns at this stage. I do not consider that the harm identified at Outline Stage could be fully removed through Reserved Matters. Nonetheless, the Site Layout Plan now proposed is an improvement over the last iteration of the indicative Site Layout Plans submitted at Outline Stage, as a greater area of undeveloped space has been left to the south of Turkey Hall, along Turkeyhall Lane, which is welcome. This would increase the extent to which a sense of the historic undeveloped setting of Turkey Hall, and separation from the more built-up area to the south, remains, particularly when approaching from the south, along Turkeyhall Lane. Consequently, the harm previously identified has been mitigated to some extent. Other than potentially in relation to the Foul Pumping Station (dependent upon the outstanding information), given the Outline Approval, I consider that options for further reducing the harm at this stage are limited. As such make no requests for further amendments.

Further Information Requested:

- Details of overall scale, design and appearance of proposed Foul Pumping Station, to include detailed plans and elevations/manufacturer's literature as appropriate.

Conditions

- Subject to further information above.

Kind Regards,

**Thomas Pinner BA(Hons), MA, MA**  
Heritage and Design Officer  
Babergh and Mid Suffolk District Councils  
M 07850 883264  
T 01449 724819  
E [thomas.pinner@babberghmidsuffolk.gov.uk](mailto:thomas.pinner@babberghmidsuffolk.gov.uk)  
E [heritage@babberghmidsuffolk.gov.uk](mailto:heritage@babberghmidsuffolk.gov.uk)  
W [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Thomas Pinner <Thomas.Pinner@babberghmidsuffolk.gov.uk>  
**Sent:** 02 June 2021 16:36  
**To:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641 Land to the East of Turkeyhall Lane, Bacton Amended v.2

Hi Alex,

DC/21/00641

Details of the proposed Foul Water Pumping Station have now been submitted. Although it would not be a particularly traditional feature within the setting of the nearby listed building, the plans show that it would also be a fairly low-level structure and thus it should be fairly discreet. Existing vegetation between the station and the Turkey Hall may also go some way to mitigating its impact. Furthermore, it appears the pumping station would be surrounded by a brick wall and, subject to the brick used, this could help further blend it in to the setting of the listed house (see below). I note the station would include a single light pole – prominent lighting within close proximity of the listed building may further erode the listed building's historically rural setting. A full Lighting Assessment may technically be necessary to fully understand its impact. However, it seems unlikely that this single light pole would result in more than a very low level of harm. Furthermore, given that the Reserved Matters scheme has otherwise mitigated the harm identified at Outline Stage to a not-inconsiderable degree, I do not consider requiring a full Lighting Assessment on this aspect would be warranted. Instead, I request that consideration is given to applying the following conditions that should help ensure the impact of the Pumping Station, including lighting, is mitigated as far as possible:

- Prior to construction of the Foul Water Pumping Station, manufacturer's details of proposed facing materials for exterior walls.
- Restrictions on intensity/spill/or hours of operation of Foul Water Pumping Station lighting, as is appropriate/reasonable, to limit any effects caused by lighting to the setting of Turkey Hall.

Otherwise, as per my original response, given the Outline Approval, I raise no concerns with the rest of the Reserved Matters proposal.

Kind Regards,

**Thomas Pinner BA(Hons), MA, MA**

Heritage and Design Officer

Babergh and Mid Suffolk District Councils

M 07850 883264

T 01449 724819

E [thomas.pinner@babberghmidsuffolk.gov.uk](mailto:thomas.pinner@babberghmidsuffolk.gov.uk)

E [heritage@babberghmidsuffolk.gov.uk](mailto:heritage@babberghmidsuffolk.gov.uk)

W [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

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<https://www.midsuffolk.gov.uk/features/our-covid-19-response/>

# Consultee Comments for Planning Application DC/21/00641

## Application Summary

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## Consultee Details

Name: Thomas Pinner

Address: Flat 5, Quintons Court, Station Yard Needham Market, Suffolk IP6 8AY

Email: Not Available

On Behalf Of: Heritage Team

## Comments

Hi Alex,

DC/21/00641

I have no further comments to add for this application, please continue to refer to previous heritage comments.

Kind Regards,

Thomas Pinner BA(Hons), MA, MA

Heritage and Design Officer

Babergh and Mid Suffolk District Councils

M 07850 883264

T 01449 724819

E [thomas.pinner@baberghmidsuffolk.gov.uk](mailto:thomas.pinner@baberghmidsuffolk.gov.uk)

E [heritage@baberghmidsuffolk.gov.uk](mailto:heritage@baberghmidsuffolk.gov.uk)

W [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

For our latest Coronavirus response please visit click the following link-

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# Consultee Comments for Planning Application DC/21/00641

## Application Summary

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## Consultee Details

Name: Mr Thomas Pinner

Address: BMSDC, Endeavour House, Ipswich IP1 2BX

Email: Not Available

On Behalf Of: Heritage Team

## Comments

Dear Alex,

DC/21/00641 Amended v.3

30/11/2021

I consider that the latest revisions to the above application would not result in any changes to the impact of the scheme on the significance of the listed building Turkey Hall. Therefore please continue to refer to my previous comments, specifically those from 05/03/2021 and 02/06/2021.

Kind Regards,

Thomas Pinner BA(Hons), MA, MA

Heritage and Design Officer

Babergh and Mid Suffolk District Councils

M 07850 883264

T 01449 724819

E [thomas.pinner@baberghmidsuffolk.gov.uk](mailto:thomas.pinner@baberghmidsuffolk.gov.uk)

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W [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

Advance Notice of Christmas Closure

Please be advised that the Development Management, Heritage and Planning Enforcement Team



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

11/03/2021

For the attention of: Alex Scott

**Ref: Application for Reserved Matters DC/21/00641; Land to the East of Turkeyhall Lane  
Bacton Suffolk**

Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

The submitted landscape plan (4553/01revB 20/12/2020) includes details of tree, shrub and seed planting. The proposed landscape plan is appropriate for a development of this scale and within this location.

A Landscaping Schedule and Landscape Management Plan (Dec 2020 rev B) has been submitted, which seek to address Condition 28 (soft landscaping) of the RM application. Page 8, Table 1 of this report includes a planting schedule for the proposed planting as shown on Plans 4553/01/Rev B. This includes trees shrubs and seed mix for grass areas.

Page 19, (para 3.11.1) of the submitted Landscaping Schedule and Landscape Management Plan report states that:

*“A landscape management plan will either be supplied by SITE OWNER as part of the Landscape Plan / Schedule (see below) or will be required to be supplied by the contractor as part of the landscape works. The landscape management plan will need to specify;*

- The initial establishment and maintenance programme for the new landscaping particularly; watering, weeding, formative pruning, monitoring and checking of plant establishment and replacement as necessary.*
- The plan will also need to detail who is to undertake the works to which areas of the site (contractor, SITE OWNER, tenants) and will give timings for each operation over a 5 year period*
- The plan will also deal with ongoing maintenance operations after 5 years (those which are cyclical and necessary for maintenance of all the soft landscaping features - mowing, hedge cutting, tree safety monitoring, landscape replacement monitoring) and will detail which areas of the site are to be managed by SITE OWNER (after consultation with SITE OWNER) and which by other persons (Tenants, other owners, Highways, Parish Council etc.)”*

Clarification is sort regarding this. Paragraph 1 of section 3.11.1 indicates that a landscape management plan will still be supplied. The wording of this condition requires the landscape and ecological management plan (LEMP) to include;

*“a) Description and evaluation of features to be managed. b) Ecological trends and constraints on site that might influence management. c) Aims and objectives of management. d) Appropriate management options for achieving aims and objectives. e) Prescriptions for management actions. f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period). g) Details of the body or organization responsible for implementation of the plan. h) Ongoing monitoring and remedial measures. The LEMP shall also include details of the legal and funding mechanism(s) by which the long- term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery.”*

Therefore, it remains unclear whether a full management plan will follow in due course or that this report (as submitted) is an attempt to meet the requirements of this condition.

If you have any queries regarding the matters raised above, please let me know.

Yours sincerely,

Ryan Mills BSc (Hons) MSc CMLI  
Senior Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils** Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



**Place Services**  
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[@PlaceServices](https://twitter.com/PlaceServices)



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

04/05/2021

For the attention of: Alex Scott

**Ref: Application for Reserved Matters DC/21/00641; Land to the East of Turkeyhall Lane  
Bacton Suffolk**

Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

As indicated previously, the submitted landscape plan (4553/01 revB 20/12/2020) includes details of tree, shrub and seed planting. The proposed landscape plan is appropriate for a development of this scale and within this location.

A revised Landscaping Schedule and Landscape Management Plan (Apr 2021 rev E) has now also been submitted, which seek to address Condition 28 (soft landscaping) of the RM application.

This revised plan addresses the concerns raised in our previous consultation and therefore we have no further comments to make.

If you have any queries regarding the matters raised above, please let me know.

Yours sincerely,

Ryan Mills BSc (Hons) MSc CMLI  
Senior Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Sent:** 13 Jul 2021 10:29:18  
**To:**  
**Cc:**  
**Subject:** FW: MSDC Planning Re-consultation Request - DC/21/00641  
**Attachments:**

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-----Original Message----- From: Landscape Sent: 13 July 2021 10:27 To: BMSDC Planning Area Team Yellow Cc: Landscape ; Kim Howell - Landscape Consultant Subject: RE: MSDC Planning Re-consultation Request - DC/21/00641  
FAO Alex Scott, Thank you for re-consulting us on the revised plans submitted 30/6/21. We have reviewed the amended plans and have no further landscape comment to make at this time. Kind regards, Kim Howell BA(Hons) DipLA CMLI  
Landscape Consultant at Place Services telephone: 03330136861 | mobile: 07920286396 web: www.placeservices.co.uk  
linkedin: <https://www.linkedin.com/in/kim-howell>



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

30/11/2021

For the attention of: Alex Scott

**Ref: Application for Reserved Matters DC/21/00641; Land to the East of Turkeyhall Lane  
Bacton Suffolk**

Thank you for reconsulting us on revised plans and documents submitted 05/11/2021 for the submission of details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Having reviewed the revised scheme we generally support the changes made to the layout and have the below comments and recommendations:

- The amendment layout provides a better relationship between the dwellings and the Public Open Space (POS) to the central-east of the site.
- The inclusion of mixed native hedge between rear gardens and the POS will have a positive impact on the site biodiversity by providing a linear habitat, whilst improving security of the rear gardens of plots 1,8, 40 and 43-44.
- The pumping station is situated in a visually prominent location within the POS near the site gateway. We would recommend that additional planting is proposed to better screen the pumping station.
- Where possible we would prefer to see soft approaches to SuDS, for example avoiding pre-cast concrete headwalls with galvanised handrails such as has been specified.
- We welcome the inclusion of planting around the attenuation basins and the intention to soften the inlet and outlet features, however trees should be placed to avoid conflict with the engineered elements, though herbaceous and shrub planting may still be used to soften the appearance.
- More could be done to improve the visual appearance of attenuation pond 1, which has no significant vegetation near the inlet (to the east).
- The inclusion of an area of permanently wet area in one of the basins would provide improved ecological value and amenity interest.
- There are several proposed trees within private garden spaces. The ones in rear gardens are a welcome addition though we would advise that the establishment and retention of these trees would be difficult to ensure.

- With regard to those trees within the street-scene, we would prefer these to be placed within the public realm rather than within the curtilage of the properties to ensure their long-term visual amenity can be retained.
- Furthermore the opportunity to provide street trees to plots 32- 39 should be explored.

It should be noted that Condition 24: Landscaping Scheme is concurrent with the submission of the Reserved Matters, which has not been included within the above application. Nor has sufficient detail been provided as part of this application to enable us to recommend its discharge.

We trust the above recommendations are of interest should you have any queries regarding the matters raised above, please let me know.

Yours sincerely,

Kim Howell BA (Hons) Dip LA CMLI  
Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils** Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



5<sup>th</sup> May 2021

Alex Scott  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

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*Thank you for requesting advice on this re-application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

---

**Application:** DC/21/00641  
**Location:** Land To The East Of Turkeyhall Lane Bacton Suffolk  
**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Dear Alex,

Thank you for re-consulting Place Services on the above Reserved Matters application.

**Summary**

We have reassessed the Preliminary Ecological Appraisal (Hopkins Ecology Ltd, February 2018), provided by the applicant at outline stage, relating to the likely impacts of development on designated sites, protected species and Priority species & habitats.

In addition, we have reviewed the Revised Landscaping Schedule and Landscape Management Plan – Rev E (April 2021), including the planting schedule for the proposed planting, the Ecology Plan – Rev P5 (Parc Design Solutions, December 2020); and the External Lighting Plan 019 - 029 – 208- Rev P6 (Parc Design Solutions, December 2020) and data sheets.

We are now satisfied with proposed Landscaping Schedule and Landscape Management Plan, which has been submitted to meet the requirements of condition 28 of the outline consent DC/18/00723.

The Landscaping Schedule and Landscape Management Plan no longer indicates that it will include Japanese Rose (*Rosa rugosa*), which is an invasive species under Schedule 9 of the Wildlife and Countryside Act 1981 (as amended) and details of the species mixture for the marginal pond planting have now been provided. The details of the proposed management of the aquatic planting have now also been included.



In terms of the bespoke biodiversity enhancements, as proposed within the Landscaping Schedule and Landscape Management Plan and the Ecology Plan – Rev P5 (Parc Design Solutions, December 2020), it is indicated that we approve of the proposed details and locations of the bird and bat boxes, reptile refugia and hedgehog highways (to be installed throughout the site). We note further details on persons responsible for implementation of the measures and any details of the initial aftercare and long-term maintenance has now been included.

In terms of Wildlife Sensitive Lighting Strategy, as required under condition 28 of the outline consent, we note that no street lighting is proposed within the development and that only KSR Tulula III PIR external lights will be installed on the outside of dwellings. As a result, we are satisfied that the likely impacts upon foraging and commuting bats will be negligible for this application and we approve that the correlated colour temperature at 3000k (warm-white lights) have been specified within the submitted lighting data sheets.

We therefore recommend that the Landscaping Schedule and Landscape Management Plan and the Ecology Plan – Rev P5 (Parc Design Solutions, December 2020) is secured as a condition of any consent and implemented in full.

Please contact us with any queries.

Yours sincerely,

**Sue Hooton CEnv MCIEEM BSc (Hons)**

Principal Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



01 April 2021

Alex Scott  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

---

*Thank you for requesting advice on this re-application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

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**Application:** DC/21/00641  
**Location:** Land To The East Of Turkeyhall Lane Bacton Suffolk  
**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Dear Alex,

Thank you for consulting Place Services on the above Reserved Matters application.

**Summary**

We have reassessed the Preliminary Ecological Appraisal (Hopkins Ecology Ltd, February 2018), provided by the applicant at outline stage, relating to the likely impacts of development on designated sites, Protected species and Priority species/habitats.

In addition, we have reviewed the Landscaping Schedule and Landscape Management Plan – Rev B (December 2020), including the planting schedule for the proposed planting as shown on Plans 4553/01/Rev B; The bird and bat box location – Rev P2 (Parc Design Solutions, December 2020); and the External Lighting Plan and data sheets.

It is indicated that we are generally satisfied with proposed Landscaping Schedule and Landscape Management Plan, which has been submitted to meet the requirements of condition 28 of outline stage. However, we do request that a few amendments and clarification is undertaken prior to discharge of the condition.

Firstly, the Landscaping Schedule and Landscape Management Plan indicates that it will include Japanese Rose (*Rosa rugosa*), which is an invasive species under Schedule 9 of the Wildlife and



Countryside Act 1981 (as amended). Therefore, this species must be removed from the planting specifications and a suitable alternative provided.

In addition, we note that the species mixture for the marginal pond planting (828nr aquatic planting) has not been referenced and currently no general monitoring or management of these areas are proposed within the Landscaping Schedule and Landscape Management Plan. Therefore, we recommend that further clarification should be provided within a revised document, as aquatic planting will have significant ecological benefits if implemented appropriately.

Furthermore, we note that paragraph 3.11 of the Landscaping Schedule and Landscape Management Plan indicates that *“a landscape management plan will either be supplied by SITE OWNER as part of the Landscape Plan / Schedule (see below) or will be required to be supplied by the contractor as part of the landscape works”*. Therefore, we query whether a further Landscape Management Plan is required to meet the requirements of this condition.

In terms of the bespoke biodiversity enhancements, as proposed within the Landscaping Schedule and Landscape Management Plan and The bird and bat box location – Rev P2, it is indicated that we approve of the proposed details and locations of the bird and bat boxes, reptile refugia and hedgehog highways (to be installed throughout the site). However, we request that further details should be provided on the persons responsible for implementation of the measures and any details of the initial aftercare and long-term maintenance to be outlined for these bespoke biodiversity enhancements.

In terms of Wildlife Sensitive Lighting Strategy, as required under condition 28 of the outline consent, we note that no street lighting is proposed within the development and that only KSR Tulula III PIR external lights will be installed on the outside of dwellings. As a result, we are satisfied that the likely impacts upon foraging and commuting bats will be negligible for this application and we approve that the correlated colour temperature at 3000k (warm-white lights) have been specified within the submitted lighting data sheets.

Please contact us with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.





19<sup>th</sup> July 2021

Alex Scott  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

---

*Thank you for requesting advice on this re-application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

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**Application:** DC/21/00641  
**Location:** Land To The East Of Turkeyhall Lane Bacton Suffolk  
**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Dear Alex,

Thank you for re-consulting Place Services on the above Reserved Matters application.

**Summary**

We have re-assessed the Preliminary Ecological Appraisal (Hopkins Ecology Ltd, February 2018), provided by the applicant at outline stage, relating to the likely impacts of development on designated sites, protected species and Priority species & habitats.

In addition, we have reviewed the Revised Landscaping Schedule and Landscape Management Plan – Rev F (April 2021), including the planting schedule for the proposed planting, the Ecology Plan – Rev P6 (Parc Design Solutions, December 2020); the External Lighting Plan 019 - 029 – 208- Rev P6 (Parc Design Solutions, December 2020) and data sheets.

We are still satisfied with proposed Landscaping Schedule and support the amended Landscape Management Plan, which has been submitted to meet the requirements of condition 28 of the outline consent DC/18/00723.

In terms of the bespoke biodiversity enhancements, as proposed within the Landscaping Schedule and Landscape Management Plan and the Ecology Plan – Rev P6 (Parc Design Solutions, December 2020), it is indicated that still approve of the proposed details and locations of the bird and bat boxes, reptile refugia and hedgehog highways (to be installed throughout the site).



We also still support the Wildlife Sensitive Lighting Strategy, as required under condition 28 of the outline consent, which outlines measures which will minimise impacts upon roosting, foraging and commuting bats.

Please contact us with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



01 December 2021

Alex Scott  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

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*Thank you for requesting advice on this re-application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

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**Application:** DC/21/00641  
**Location:** Land To The East Of Turkeyhall Lane Bacton Suffolk  
**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Dear Alex,

Thank you for re-consulting Place Services on the above Reserved Matters application.

**Summary**

We have re-assessed the Preliminary Ecological Appraisal (Hopkins Ecology Ltd, February 2018), provided by the applicant at outline stage, relating to the likely impacts of development on designated sites, protected species and Priority species & habitats.

In addition, we have reviewed the further information supplied on the 5<sup>th</sup> November 2021. This includes

Revised Landscaping Schedule and Landscape Management Plan – Rev G (CJ Yardley Landscape Survey and Design and Management, October 2021), The proposed landscape Plan – Rev F (CJ Yardley Landscape Survey and Design and Management, October 2021), the Ecology Plan – Rev P9 (Parc Design Solutions, December 2020); the External Lighting Plan 019 - 029 – 208- Rev P10 (Parc Design Solutions, December 2020) and relevant data sheets.

We are still satisfied with proposed landscape Plan at an ecological perspective and are particularly pleased to see the incorporation of Pond Edge mixes within the proposed ponds and Flowering lawn mixes within the open space. This will provide a range of wildflower areas which will benefit



invertebrates, including pollinators. Therefore, we are still satisfied that the submitted information meets the requirements of condition 28 of the outline consent DC/18/00723.

In terms of the bespoke biodiversity enhancements, it is indicated that still approve of the proposed details and locations of the bird and bat boxes, reptile refugia and hedgehog highways (to be installed throughout the site), which have been outlined within the updated documents. As a result, we are satisfied that biodiversity net gains will be delivered for Protected and priority species, in line within paragraph 174d of the NPPF 2021.

We also still support the revised Wildlife Sensitive Lighting Strategy, as required under condition 28 of the outline consent, which outlines measures which will minimise impacts upon roosting, foraging and commuting bats. Therefore, the LPA can still demonstrate that they have met their statutory requirements for these European Protected Species.

Please contact us with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

**Sent:** 30 April 2021 09:20

**To:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>

**Cc:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/00641. Land Contamination

Dear Alex

**EP Reference : 291792**

**DC/21/00641. Land Contamination**

**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**

**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway**

Many thanks for your request for comments to make with respect to the above submission. I can confirm that I have no comments to make with respect to land contamination.

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD

Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)

Work: 01449 724715

websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Nathan Pittam <Nathan.Pittam@babberghmidsuffolk.gov.uk>  
**Sent:** 10 February 2021 08:38  
**To:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641. Land Contamination

Dear Alex

**EP Reference : 289072**  
**DC/21/00641. Land Contamination**  
**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**  
**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 -**

Many thanks for your request for comments in relation to the above application from the perspective of land contamination. I can confirm that I have no comments to make in addition to those made towards the 2018 permission.

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@babberghmidsuffolk.gov.uk](mailto:Nathan.pittam@babberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Nathan Pittam <Nathan.Pittam@babberghmidsuffolk.gov.uk>  
**Sent:** 19 July 2021 10:42  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641. Land Contamination

**EP Reference 295123**  
**DC/21/00641. Land Contamination**  
**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**  
**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway**

Many thanks for your request for comments in relation to the above application, I can confirm that I have no comments to make in addition to those made previously during the consultation period.

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@babberghmidsuffolk.gov.uk](mailto:Nathan.pittam@babberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Sent:** 25 Nov 2021 10:30:44  
**To:**  
**Cc:**  
**Subject:** FW: (300318) DC/21/00641 Land Contamination  
**Attachments:**

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**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>  
**Sent:** 25 November 2021 09:53  
**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Cc:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>  
**Subject:** (300318) DC/21/00641 Land Contamination

**EP Reference : 300318**  
**DC/21/00641. Land Contamination**  
**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**  
**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723.**  
**Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway**

Many thanks for your request for comments in relation to the above submission. I can confirm that I have no comments to make with respect to land contamination.

Regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

*I am working flexibly - so whilst it suits me to email now, I do not expect a response or action outside of your own working hours*



Dear Sarah

EP Reference : 291786

DC/21/00641. Air Quality

Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.

Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including

Many thanks for your request for comments to make with respect to the above submission. I can confirm that I have no comments to make with respect to Local Air Quality Management.

Kind regards

Nathan

Nathan Pittam BSc. (Hons.) PhD

Senior Environmental Management Officer

Babergh and Mid Suffolk District Councils – Working Together

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)

Work: 01449 724715

websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Nathan Pittam <Nathan.Pittam@babberghmidsuffolk.gov.uk>  
**Sent:** 26 February 2021 08:54  
**To:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>  
**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641. Air Quality

Dear Alex

**EP Reference : 289085  
DC/21/00641. Air Quality  
Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET,  
Suffolk.  
Submission of Details (Reserved Matters) in relation to outline planning  
permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the  
erection of up to 51 dwellings, highway improvements including**

Many thanks for your request for comments in relation to the above submission. I can confirm that I have no comments to make with respect to Local Air Quality Management.

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@babberghmidsuffolk.gov.uk](mailto:Nathan.pittam@babberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Sent:** 19 Jul 2021 11:07:04  
**To:**  
**Cc:**  
**Subject:** FW: DC/21/00641. Air Quality  
**Attachments:**

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**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>  
**Sent:** 19 July 2021 10:33  
**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Cc:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641. Air Quality

**EP Reference : 295121**  
**DC/21/00641. Air Quality**  
**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**  
**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723.**  
**Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway –**

Many thanks for your request for comments in relation to the above application, I can confirm that I have no comments to make in addition to those made previously during the consultation period.

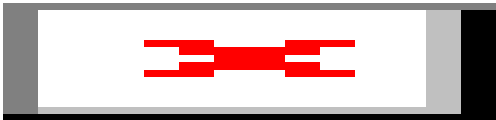
Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)



**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Sent:** 25 Nov 2021 10:30:58  
**To:**  
**Cc:**  
**Subject:** FW: DC/21/00641. Air Quality  
**Attachments:**

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**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>  
**Sent:** 25 November 2021 10:04  
**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Cc:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641. Air Quality

**EP Reference : 300317**  
**DC/21/00641. Air Quality**  
**Land to the East of Turkeyhall Lane &, North Close, Bacton, STOWMARKET, Suffolk.**  
**Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723.**  
**Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway -**

Many thanks for your request for comments in relation to the above submission. I can confirm that I have no comments to make with respect to Local Air Quality Management.

Regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

*I am working flexibly - so whilst it suits me to email now, I do not expect a response or action outside of your own working hours*

**From:** Andy Rutson-Edwards  
**Sent:** 15 April 2021 15:38  
**Subject:** DC/21/00641 re consultation

Noise/Odour/Light/Smoke

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission

DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

**Reason(s) for re-consultation:** Additional documents and revised plans received 12.04.21

Thank you for the opportunity to comment on the revised plans.

I have no comments to make in regards to these.

*Andy*

**Andy Rutson-Edwards, MCIEH AMIOA**

Senior Environmental Protection Officer

**Babergh and Mid Suffolk District Council - Working Together**

**From:** David Harrold <David.Harrold@babberghmidsuffolk.gov.uk>

**Sent:** 17 February 2021 11:03

**To:** BMSDC Planning Mailbox <planning@babberghmidsuffolk.gov.uk>

**Cc:** Alex Scott <Alex.Scott@babberghmidsuffolk.gov.uk>

**Subject:** Plan ref DC/21/00641 Land To The East Of Turkeyhall Lane, Bacton. Environmental Health - Noise/Odour/Light/Smoke

Thank you for consulting me on submission of details in relation to outline planning permission DC/18/00723.

I can confirm with respect to noise and other environmental health issues that I do not have any comments to make.

David Harrold MCIEH  
Senior Environmental Health Officer

**Babergh & Midsuffolk District Councils**  
**t: 01449 724718**  
**e: [david.harrold@babberghmidsuffolk.gov.uk](mailto:david.harrold@babberghmidsuffolk.gov.uk)**

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 07 Jul 2021 09:24:00

**To:**

**Cc:**

**Subject:** FW: DC/21/00641

**Attachments:**

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**From:** Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>

**Sent:** 07 July 2021 09:23

**To:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/00641

Environmental Health -  
Noise/Odour/Light/Smoke

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

**Reason(s) for re-consultation:** Revised plans submitted 30/06/21.

Thank you for consulting me on this application. I have no further comments to add to those already submitted in regard to this application submitted in March 2018 which are still relevant, those being :

I would recommend the following conditions:

1. Hours of work.

All works and ancillary operations, which are audible at the site boundary, or at such other place as may be agreed with the Council, shall be carried out only between the hours of 8am and 6pm on Mondays to Fridays and between the hours of 9am and 1pm on Saturdays and at no time on Sundays and Bank Holidays. Deliveries/collections shall only be made during these hours.

Reason – To minimise detriment to nearby residential amenity.

2. Construction Management Plan.

No development shall commence until a construction management plan has been submitted to and approved in writing by the Local Planning Authority. The construction management plan shall include details of:

- Operating hours (to be as above).
- Means of access, traffic routes, vehicle parking and manoeuvring areas (site operatives and visitors).
- Loading and unloading of plant and materials.
- Wheel washing facilities.
- Lighting.
- Location and nature of compounds and storage areas (including maximum storage heights) and factors to prevent wind-whipping.
- Waste storage and removal.
- Temporary buildings and boundary treatments.
- Dust management measures.
- Noise and vibration management (to include arrangements for monitoring, and specifically for any concrete breaking and any piling) and;
- Litter management during the construction phases of the development.

Thereafter, the approved construction plan shall be fully implemented and adhered to during all phases of the development hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

Note: The Construction Management Plan shall cover both demolition and construction phases of the above development. The applicant should have regard to BS 5228:2009 Code of Practice of Noise and Vibration Control on Construction and Open Sites.

Reason – To minimise detriment to nearby residential amenity.

3. Smoke.

During any ground works/construction no burning of materials on the site.

Reason – To minimise detriment to nearby residential amenity.

4. Light.

Any external lighting associated with the development both during any ground works/demolition/construction and as part of the proposal shall be kept to the minimum necessary for the purposes of security and site safety and shall prevent upward and outward light radiation.

Reason – To minimise detriment to nearby residential amenity

*Andy*  
**Andy Rutson-Edwards**, MCIEH AMIOA  
Senior Environmental Protection Officer  
**Babergh and Mid Suffolk District Council - Working Together**  
Tel: 01449 724727  
Email [andy.rutson-edwards@baberghmidsuffolk.gov.uk](mailto:andy.rutson-edwards@baberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)



**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 11 Nov 2021 02:46:29

**To:**

**Cc:**

**Subject:** FW: DC/21/00641 revised

**Attachments:**

---

**From:** Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>

**Sent:** 11 November 2021 14:36

**To:** Alex Scott <Alex.Scott@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/00641 revised

Environmental Health -  
Noise/Odour/Light/Smoke

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

**Reason(s) for re-consultation:** Revised Plans and Documents Received 05.11.21

Thank you for consulting me on this application

I have no further comments to add to those already submitted by Environmental Protection .

*Andy*

**Andy Rutson-Edwards**, MCIEH AMIOA

Senior Environmental Protection Officer

**Babergh and Mid Suffolk District Council - Working Together**

Tel: 01449 724727

Email [andy.rutson-edwards@baberghmidsuffolk.gov.uk](mailto:andy.rutson-edwards@baberghmidsuffolk.gov.uk)

[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Peter Chisnall <Peter.Chisnall@babberghmidsuffolk.gov.uk>  
**Sent:** 30 April 2021 16:13  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641

Dear Alex,

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

**Reason(s) for re-consultation:** Additional documents and revised plans received 12.04.21

Many thanks for your request to comment on the Sustainability/Climate Change mitigation related aspects of this re-consultation.

I have nothing to add to my previous response dated 2<sup>nd</sup> March 2021.

Regards,

Peter

**Peter Chisnall**, CEnv, MIEMA, CEnvH, MCIEH  
Environmental Management Officer  
**Babergh and Mid Suffolk District Council - Working Together**  
Tel: 01449 724611  
Email: [peter.chisnall@babberghmidsuffolk.gov.uk](mailto:peter.chisnall@babberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Peter Chisnall  
**Sent:** 02 March 2021 21:12  
**Subject:** DC/21/00641

Dear Alex,

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

Many thanks for your request to comment on the Sustainability/Climate Change aspects of this application.

This proposal does not directly deal with those matters however I have studied the applicant's documents and noticed their comments within the Planning Statement.

I will take the opportunity to comment on these now but expect a further request from yourself to deal specifically with Condition 19 that formally requests a Sustainability Statement and the following is what is expected.

Prior to the commencement of development a scheme for the provision and implementation of water, energy and resource efficiency measures, during the construction and operational phases of the development shall be submitted to and approved, in writing, by the Local Planning Authority. The scheme shall include a clear timetable for the implementation of the measures in relation to the construction and occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed.

The Sustainability & Energy Strategy must be provided detailing how the development will minimise the environmental impact during construction and occupation ((as per policy CS3, and NPPF)) including details on environmentally friendly materials, construction techniques minimisation of carbon emissions and running costs and reduced use of potable water ( suggested maximum of 105ltr per person per day).

Babergh and Mid Suffolk Councils declared a Climate Emergency in 2019 and have an aspiration to be Carbon Neutral by 2030, this will include encouraging activities, developments and organisations in the district to adopt a similar policy. This council is keen to encourage consideration of sustainability issues at an early stage so that the most environmentally friendly buildings are constructed and the inclusion of sustainable techniques, materials, technology etc can be incorporated into the scheme without compromising the overall viability, taking into account the requirements to mitigate and adapt to future climate change.

With developments constructed with levels of insulation to just equal or slightly better the current building regulations' Part L requirements it is likely that they will need to be retrofitted within a few years to meet the National milestones and targets leading up to zero carbon emissions by 2050.

With all future Sustainability and Energy Strategy the Council is requiring the applicant to indicate the retrofit measures required and to include an estimate of the retrofit costs for the properties on the development to achieve net Zero Carbon emissions by 2050. It is also to include the percentage uplift to building cost if those measures are included now at the initial building stage. The applicant may wish to do this to inform future owners of the properties.

The document should clearly set out the unqualified commitments the applicant is willing to undertake on the topics of energy and water conservation, CO<sub>2</sub> reduction, resource conservation, use of sustainable materials and provision for electric vehicles.

Details as to the provision for electric vehicles should also be included please see the Suffolk Guidance for Parking, published on the SCC website on the link below:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/parking-guidance/>

Reason – To enhance the sustainability of the development through better use of water, energy and resources. This condition is required to be agreed prior to the commencement of any development as any construction process, including site preparation, has the potential to include energy and resource efficiency measures that may improve or reduce harm to the environment and result in wider public benefit in accordance with the NPPF.

Guidance can be found at the following locations:

<https://www.midsuffolk.gov.uk/environment/environmentalmanagement/planningrequirements/>

Regards,

Peter

**Peter Chisnall**, CEnv, MIEMA, CEnvH, MCIEH  
Environmental Management Officer  
**Babergh and Mid Suffolk District Council - Working Together**

**From:** Simon Davison  
**Sent:** 12 July 2021 10:04  
**Subject:** DC/21/00641

Dear Alex,

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk.

**Reason(s) for re-consultation:** Revised plans submitted 30/06/21.

Many thanks for your request to comment on the sustainability aspects of this re-consultation.

I have nothing to add to the previous response from Peter Chisnall dated 2nd March 2021.

Kind regards

Simon Davison PIEMA  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils - Working Together

Mobile: 07874 634932  
t: 01449 724728  
email: [simon.davison@baberghmidsuffolk.gov.uk](mailto:simon.davison@baberghmidsuffolk.gov.uk)  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Sent:** 26 Nov 2021 10:03:56  
**To:**  
**Cc:**  
**Subject:** FW: DC/21/00641  
**Attachments:**

---

**From:** Simon Davison <Simon.Davison@baberghmidsuffolk.gov.uk>  
**Sent:** 26 November 2021 08:44  
**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>  
**Subject:** DC/21/00641

Dear Alex,

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

**Proposal:** Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

**Location:** Land To The East Of Turkeyhall Lane, Bacton, Suffolk.

**Reason(s) for re-consultation:** Revised Plans and Documents Received 05.11.21.

Many thanks for your request to comment on the sustainability aspects of this re-consultation.

I have nothing to add to the previous response from Peter Chisnall dated 2nd March 2021.

Kind regards

Simon Davison PIEMA  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils - Working Together

Mobile: 07874 634932  
t: 01449 724728  
email: [simon.davison@baberghmidsuffolk.gov.uk](mailto:simon.davison@baberghmidsuffolk.gov.uk)  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

# **Consultee Comments for Planning Application DC/21/00641**

## **Application Summary**

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## **Consultee Details**

Name: Mr James Fadeyi

Address: Mid Suffolk District Council Depot, Creeting Road West, Stowmarket, Suffolk IP14 5AT

Email: Not Available

On Behalf Of: MSDC - Waste Manager (Major Developments)

## **Comments**

Good Afternoon,

Thank you for your email re-consultation on the reserved matters application DC/18/00723.



Waste services do not wish to add any further comments to our original.

Kind regards,

James Fadeyi

Waste Management Officer

## Consultation Response Pro forma

<b>1</b>	<b>Application Number</b>	DC/21/00641	
<b>2</b>	<b>Date of Response</b>	20/04/2021	
<b>3</b>	<b>Responding Officer</b>	Name:	James Fadeyi
		Job Title:	Waste Management Officer
		Responding on behalf of...	Waste Services
<b>4</b>	<b>Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	No objection subject to conditions	
<b>5</b>	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>Ensure that the development is suitable for a 32 tonne Refuse Collection Vehicle (RCV) to manoeuvre around attached are the vehicle specifications.</p> <div style="text-align: center;">         ELITE 6 - 8x4MS (Mid Steer) Wide Track Dat     </div> <p>See the latest waste guidance on new developments.</p> <div style="text-align: center;">         SWP Waste Guidance v.21.docx     </div> <p>The road surface and construction must be suitable for an RCV to drive on.</p> <p>To provide scale drawing of site to ensure that access around the development is suitable for refuse collection vehicles.</p> <p>Please provide plans with each of the properties bin presentations plotted, these should be at edge of the curtilage or at the end of private drive and there are suitable collection presentation points. These are required for approval.</p>	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.



6	<b>Amendments, Clarification or Additional Information Required</b> (if holding objection) If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate	
7	<b>Recommended conditions</b>	Meet the conditions in the discussion.

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

**From:** James Fadeyi <James.Fadeyi@babberghmidsuffolk.gov.uk>  
**Sent:** 06 May 2021 08:50  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Subject:** RE: DC/21/00641 Land to the East of Turkey Hall Lane Bacton

Good Morning,



Thank you for your email re-consultation on the reserved matters application DC/2100641

Waste services do not wish to add any further comments to our original of 20/04/2021.

Kind regards,

James Fadeyi  
Waste Management Officer - Waste Services  
Mid Suffolk and Babergh District Councils - Working Together

## Consultation Response Pro forma

<b>1</b>	<b>Application Number</b>	DC/21/00641	
<b>2</b>	<b>Date of Response</b>	09/07/2021	
<b>3</b>	<b>Responding Officer</b>	Name:	James Fadeyi
		Job Title:	Waste Management Officer
		Responding on behalf of...	Waste Services
<b>4</b>	<b>Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	No objection subject to conditions	
<b>5</b>	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>Ensure that the development is suitable for a 32 tonne Refuse Collection Vehicle (RCV) to manoeuvre around attached are the vehicle specifications.</p> <div style="text-align: center;">         ELITE 6 - 8x4MS (Mid Steer) Wide Track Dat     </div> <p>See the latest waste guidance on new developments.</p> <div style="text-align: center;">         SWP Waste Guidance v.21.docx     </div> <hr style="width: 20%; margin: 10px auto;"/> <p>The road surface and construction must be suitable for an RCV to drive on.</p> <p>To provide scale drawing of site to ensure that access around the development is suitable for refuse collection vehicles.</p> <p>Please provide plans with each of the properties bin presentations plotted, these should be at edge of the curtilage or at the end of private drive and there are suitable collection presentation points. These are required for approval.</p>	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

6	<b>Amendments, Clarification or Additional Information Required</b> (if holding objection) If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate	
7	<b>Recommended conditions</b>	Meet the conditions in the discussion.

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

-----Original Message-----

From: BMSDC Public Realm Consultation Mailbox

Sent: 19 April 2021 14:37

Subject: RE: MSDC Planning Re-consultation Request - DC/21/00641

Public Realm Officers do not wish to offer any further comments on the revised plans.

Regards

Dave Hughes

Public Realm Officer

-----Original Message-----

From: BMSDC Public Realm Consultation Mailbox <[consultpublicrealm@baberghmidsuffolk.gov.uk](mailto:consultpublicrealm@baberghmidsuffolk.gov.uk)>  
Sent: 15 February 2021 12:48  
To: BMSDC Planning Area Team Yellow <[planningyellow@baberghmidsuffolk.gov.uk](mailto:planningyellow@baberghmidsuffolk.gov.uk)>  
Subject: RE: MSDC Planning Consultation Request - DC/21/00641

Public Realm Officers have reviewed the landscape schedule and maintenance plan and associated drawings and consider that the information provided is sufficient to discharge the condition.

Regards

Dave Hughes  
Public Realm Officer

-----Original Message-----

From: [planningyellow@baberghmidsuffolk.gov.uk](mailto:planningyellow@baberghmidsuffolk.gov.uk) <[planningyellow@baberghmidsuffolk.gov.uk](mailto:planningyellow@baberghmidsuffolk.gov.uk)>  
Sent: 09 February 2021 10:19  
To: BMSDC Public Realm Consultation Mailbox <[consultpublicrealm@baberghmidsuffolk.gov.uk](mailto:consultpublicrealm@baberghmidsuffolk.gov.uk)>  
Subject: MSDC Planning Consultation Request - DC/21/00641

Please find attached planning consultation request letter relating to planning application - DC/21/00641 - Land To The East Of Turkeyhall Lane, Bacton, Suffolk,

Kind Regards

Planning Support Team

Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Babergh District Council and/or Mid Suffolk District Council shall be understood as neither given nor endorsed by Babergh District Council and/or Mid Suffolk District Council.

Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested. For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

**From:** BMSDC Public Realm Consultation Mailbox <consultpublicrealm@baberghmidsuffolk.gov.uk>  
**Sent:** 19 July 2021 11:10  
**To:** BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>  
**Subject:** RE: Planning application DC/21/00641

Public Realm do not wish to offer any comments on the revised layouts.

Regards

Dave Hughes  
Public Realm Officer

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 26 Nov 2021 12:00:14

**To:**

**Cc:**

**Subject:** FW: MSDC Planning Re-consultation Request - DC/21/00641

**Attachments:**

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-----Original Message----- From: BMSDC Public Realm Consultation Mailbox Sent: 26 November 2021 11:16 To: BMSDC Planning Area Team Yellow Subject: RE: MSDC Planning Re-consultation Request - DC/21/00641 Public Realm Officers support the proposed treatment of the open spaces within this development Regards Dave Hughes Public Realm Officer



**MID SUFFOLK DISTRICT COUNCIL**

To: Alex Scott – Planning Officer  
From: Louise Barker – Strategic Housing Team Manager  
Date: 2<sup>nd</sup> March 2021

---

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Location: Land to the East of Turkeyhall Lane, Bacton, Suffolk.

**Consultation Response:**

We have reviewed the information submitted with the application for reserved matters. 35% affordable homes are required on this scheme and 18 homes are proposed on this scheme which is just over 35%.

The affordable layout plan shows the affordable homes in a cluster in the southern half of the site. We note that the Registered Provider has agreed the current layout however we do not support this approach.

It is the Council's preference for affordable homes to be integrated into the scheme to create a balance of housing tenure across the site ensuring a cohesive scheme.

We also require confirmation of occupancy limits and bedroom numbers and size of dwellings in respect of nationally described space standards.

The proposed housing mix for affordable and open market is acceptable and we note that bungalows are included in the mix which is welcomed, however we require confirmation on the above points and offer a holding objection at this time.

**MID SUFFOLK DISTRICT COUNCIL**

To: Alex Scott – Planning Officer  
From: Louise Barker – Strategic Housing Team Manager  
Date: 3<sup>rd</sup> June 2021

---

**APPLICATION FOR RESERVED MATTERS - DC/21/00641**

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Location: Land to the East of Turkeyhall Lane, Bacton, Suffolk.

**Re-Consultation dated 20<sup>th</sup> May:**

35% affordable homes are required on this scheme and 18 homes are proposed on this scheme which is just over 35%.

We have reviewed the information submitted on 13<sup>th</sup> May showing the affordable housing layout. There appears to have been no change in the layout of the affordable homes.

We refer to our previous comments:

*The affordable layout plan shows the affordable homes in a cluster in the southern half of the site. We note that the Registered Provider has agreed the current layout however we do not support this approach.*

*It is the Councils preference for affordable homes to be integrated into the development to create a balance of housing tenure across the site ensuring a cohesive, inclusive community and scheme.*

The proposed housing mix for affordable and open market is acceptable and we note that bungalows are included in the mix which is welcomed, however we offer a holding objection on this application pending the resolution of the siting of the affordable homes.

## **MID SUFFOLK DISTRICT COUNCIL**

To: Alex Scott – Planning Officer  
From: Louise Barker – Strategic Housing Team Manager  
Date: 15<sup>th</sup> July 2021

---

### **APPLICATION FOR RESERVED MATTERS - DC/21/00641**

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Location: Land to the East of Turkeyhall Lane, Bacton, Suffolk.

#### **Re-Consultation dated 1<sup>st</sup> July 2021:**

We have reviewed the revised site layout plan submitted on 30<sup>th</sup> June. There appears to have been no change in the layout of the affordable homes.

We refer to our previous comments:

*The affordable layout plan shows the affordable homes in a cluster in the southern half of the site.*

*It is the Councils preference for affordable homes to be integrated into the development to create a balance of housing tenure across the site ensuring a cohesive, inclusive community and scheme.*

The proposed housing mix for affordable and open market is acceptable and we note that bungalows are included in the mix which is welcomed, however we offer a holding objection on this application pending the resolution of the siting of the affordable homes.

## Consultation Response

<b>1</b>	<b>Application Number</b>	<p><b>DC/21/00641</b></p> <p>Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.</p> <p>Land To The East Of Turkeyhall Lane Bacton Suffolk</p>	
<b>2</b>	<b>Date of Response</b>	16 November 2021	
<b>3</b>	<b>Responding Officer</b>	Name:	Robert Feakes
		Job Title:	Housing Enabling Officer
		Responding on behalf of:	Strategic Housing
<b>4</b>	<b>Recommendation</b>	<p><b>Object</b></p> <p>Objection is likely to be resolvable with further information.</p>	
<b>5</b>	<b>Discussion</b>	<p>The Section 106 agreement which accompanied the outline permission; DC/18/00723; requires the production of an affordable housing scheme setting out the location, number of bedrooms and mix and tenure of the affordable homes to be provided. Whilst this is not required until prior to commencement, this application would be simpler to assess and comment on if this document were to be provided now, concurrent with Reserved Matters.</p> <p>At present it appears that sufficient affordable homes are being provided to achieve policy compliance, but it is not clear whether the mix corresponds with local needs as it is not possible to say with certainty how many homes of what types are being provided. <b>An updated schedule of the affordable homes should be provided in order to confirm the proposed unit sizes (bedspaces, occupants and floorspace).</b></p> <p>In addition, <b>provision of 4 x shared ownership units is not sufficient to meet the 10%</b></p>	

		<p><b>affordable home ownership requirement set by paragraph 65 of the NPPF (July 2021).</b></p> <p>Further to comments supplied by my colleague Louise Barker, dated 02/03/21, 03/06/21 and 15/07/21, I am pleased to see changes to the layout / distribution of the affordable housing shown in the document titled 'Affordable Housing Layout (Ref: 019 - 029 – 202 Rev. P9). The affordable homes are now in two separate clusters, although it is noticeable that the affordable homes have been placed on the land closest to the railway line. <b>I would be grateful if suitably qualified colleagues could ensure that noise impacts from the railway are being mitigated, if necessary.</b></p> <p>Whilst the proposed plans / elevations set out the gross internal areas of several of the affordable homes, I am still unable to find information on the gross internal areas of units: 23 – 28, 40, 43-45 and 49. It may be that some of this information is available on documents now labelled as being superseded?</p> <p><b>As such it is not possible to ascertain whether all the affordable units meet the nationally described space standard (NDSS). As such, the holding objection remains until it is shown that the affordable housing units will meet NDSS requirements.</b></p>
6	<b>Amendments, Clarification or Additional Information Required</b>	As per above. A table setting out information on affordable housing mix of types, tenure, plot numbers and unit sizes (floorspaces and bed spaces/occupants), to correspond with the updated affordable housing layout document.
7	<b>Recommended conditions</b>	None at present.

## Consultation Response

<b>1</b>	<b>Application Number</b>	<b>DC/21/00641</b>  Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.  Land To The East Of Turkeyhall Lane Bacton Suffolk																							
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		Responding on behalf of:	Strategic Housing																						
<b>4</b>	<b>Recommendation</b>	<b>Comment</b>																							
<b>5</b>	<b>Discussion</b>	Further to comments submitted in November, the applicant has clarified the affordable housing mix to be as follows: <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 15%;">Tenure</th> <th style="width: 25%;">Size / Type (Bedrooms and Occupants)</th> <th style="width: 15%;">Number (Plots)</th> <th style="width: 45%;">Gross Internal Area (M2)</th> </tr> </thead> <tbody> <tr> <td rowspan="3" style="vertical-align: top;">Affordable Rents (14 total)</td> <td>1b2p Flats</td> <td>6 (23, 24, 25,26,27 and 28)</td> <td>50 (ground floor) 57.5 (first floor)</td> </tr> <tr> <td>2b4p House</td> <td>7 (40, 41, 42, 46, 47, 48, 49)</td> <td>79</td> </tr> <tr> <td>3b5p House</td> <td>1 (45)</td> <td>93.7</td> </tr> <tr> <td rowspan="2" style="vertical-align: top;">Shared Ownership (4 total)</td> <td>2b4p House</td> <td>2 (21 and 22)</td> <td>79</td> </tr> <tr> <td>3b5p House</td> <td>2</td> <td>93.7</td> </tr> </tbody> </table>			Tenure	Size / Type (Bedrooms and Occupants)	Number (Plots)	Gross Internal Area (M2)	Affordable Rents (14 total)	1b2p Flats	6 (23, 24, 25,26,27 and 28)	50 (ground floor) 57.5 (first floor)	2b4p House	7 (40, 41, 42, 46, 47, 48, 49)	79	3b5p House	1 (45)	93.7	Shared Ownership (4 total)	2b4p House	2 (21 and 22)	79	3b5p House	2	93.7
Tenure	Size / Type (Bedrooms and Occupants)	Number (Plots)	Gross Internal Area (M2)																						
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Shared Ownership (4 total)	2b4p House	2 (21 and 22)	79																						
	3b5p House	2	93.7																						

		(43 and 44)		
		<p>I am pleased to see confirmation that all the affordable housing units meet the Nationally Described Space Standard. This resolves one concern raised in November.</p> <p>Furthermore, the mix of affordable units is considered acceptable for contributing toward meeting the District's needs. I would be grateful if any planning permission granted ensured that this mix is secured as part of the permission.</p> <p>I do not agree with the applicant's interpretation of paragraph 65 of the NPPF (July 2021 version). However, it will be a decision for the Planning Service as to the extent to which this is an obstacle to planning permission. The affordable housing mix is considered acceptable by the Strategic Housing Team.</p>		
6	<b>Amendments, Clarification or Additional Information Required</b>	None		
7	<b>Recommended conditions</b>	See above		

-----Original Message-----

From: Adaptations

Sent: 13 April 2021 09:47

Subject: RE: MSDC Planning Re-consultation Request - DC/21/00641

Hi,

Many thanks for sending this through.

As a team, Private Sector Housing will only need to be involved in/informed of planning work that relates to 'HMO's (Houses of Multiple Occupation) so therefore we only need to be notified of anything that relates to a property that consist of either 3 or more different households such as a shared house or bedsits (a non-licensable HMO) or 5 or more households (a licensable HMO) OR anything that relates to flats that are situated above a business such as a pub or row of shops.

I hope this assists you however if you do require further information, please do ask.

Many thanks

Becca Burch

Admin & Technical Support Officer – Private Sector Housing Babergh and Mid Suffolk District Councils



# Consultee Comments for Planning Application DC/21/00641

## Application Summary

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## Consultee Details

Name: Mrs Linda Hoggarth

Address: 26 Gipping Way, Bramford, Ipswich, Suffolk IP8 4HP

Email: Not Available

On Behalf Of: Mid Suffolk Disability Forum

## Comments

The Mid Suffolk Disability Forum notes the Compliance Note - Part M of the Building Regulations. All dwellings should now meet Part M4(1) of the Building Regulations and be visitable and 50% should now meet Part M4(2) and be accessible and adaptable.

Our previous comments regarding this application remain unchanged.

# Comments for Planning Application DC/21/00641

## Application Summary

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## Customer Details

Name: Mrs Linda Hoggarth

Address: 26 Gipping Way, Bramford, Ipswich, Suffolk IP8 4HP

## Comment Details

Commenter Type: Amenity Group

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: These comments are made on behalf of the Mid Suffolk Disability Forum.

It is noted that the intention is to recognise those with restricted mobility in this development and we are pleased to note the intention to provide 10 bungalows.

We would expect that all dwellings will meet Part M4(1) of the building regulations and therefore be visitable to all people, noting however that there are some apartments planned for the first floor which will not be accessible,

50% of all dwellings should also meet Part M4(2) of the building regulations and therefore be accessible and adaptable. It would also be our view that housing developments of over 10 dwellings should include one dwelling that meets Part M4(3) and therefore be wheelchair accessible.

Every effort should be made to ensure all footpaths are wide enough for wheelchair users, with a minimum width of 1500mm, and that any dropped kerbs are absolutely level with the road for ease of access.

All surfaces for footpaths should be firm, durable and level. No loose gravel, cobbles or uneven setts should be used.

# **Consultee Comments for Planning Application DC/21/00641**

## **Application Summary**

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

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Case Officer: Alex Scott

## **Consultee Details**

Name: Mrs Linda Hoggarth

Address: 26 Gipping Way, Bramford, Ipswich, Suffolk IP8 4HP

Email: Not Available

On Behalf Of: Mid Suffolk Disability Forum

## **Comments**

The Mid Suffolk Disability Forum has no further comments to add to those made on the 21st April, 2021.

# **Consultee Comments for Planning Application DC/21/00641**

## **Application Summary**

Application Number: DC/21/00641

Address: Land To The East Of Turkeyhall Lane Bacton Suffolk

Proposal: Submission of Details (Reserved Matters) in relation to outline planning permission DC/18/00723. Appearance, Landscaping, Layout and Scale for the erection of up to 51 dwellings, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated Infrastructure.

Case Officer: Alex Scott

## **Consultee Details**

Name: Mrs Linda Hoggarth

Address: 26 Gipping Way, Bramford, Ipswich, Suffolk IP8 4HP

Email: Not Available

On Behalf Of: Mid Suffolk Disability Forum

## **Comments**

The Mid Suffolk Disability Forum has no additional comments to make from those submitted earlier in the year.



**Planning Application (DC/21/00641/Ful).**

**Site: Erection of 51 dwellings on Land East of Turkey Hall Lane, Bacton, IP14 4NN**

**Applicant/Agent: Mr LAMBERT, Bidwells for Flagship Homes, 31 King St. Norwich**

**Planning Officer: Mr Alex SCOTT**

The crime prevention advice is given without the intention of creating a contract. Neither the Home Office nor Police Service accepts any legal responsibility for the advice given. Fire Prevention advice, Fire Safety certificate conditions, Health & Safety Regulations and safe working practices will always take precedence over any crime prevention issue. Recommendations included in this document have been provided specifically for this site and take account of the information available to the Police or supplied by you. Where recommendations have been made for additional security, it is assumed that products are compliant with the appropriate standard and competent installers will carry out the installation as per manufacturer guidelines. (Suppliers of suitably accepted products can be obtained by visiting [www.securedbydesign.com](http://www.securedbydesign.com).)

Dear **Mr SCOTT**

Thank you for allowing me to provide an input for the above Planning Application.

**On behalf of Suffolk Constabulary I have viewed the available plans and would like to register the following comments with regards to Section 17 of the Crime and Disorder Act.**

**This development appears to be well laid out with back to back properties and no rear parking courts. It is also appreciated that where garages have not been incorporated architects have indicated on the plans that these areas will at least have active windows to provide surveillance for homeowners' vehicles.**

**It is good to see from page 8 of the Design Access Statement (DAS) that security for the scheme has been factored in for existing and future residents, along with appropriate boundary treatments; security lighting and parking court security, as well as surveillance.**

**However, the following points within this development are a concern:**

- a) Plots 1 and 24 have their parking spaces set too far back, allowing an offender access to the rear of the plot: plot 34 has rear parking meaning that the owner's will not have any surveillance for their vehicle (further information at paras 1.1-1.2).**
- b) The undercroft (flying freehold) incorporated over the entrance to plots 46-51 is a real concern (further information at para 1.4).**
- c) The pathway that runs by the front of plots 46-51, leading to the existing buildings at the north of North Close is a concern (further information at para 1.5).**
- d) The pathway that will run north west to south east from by the pond and plots 1 and 8 and either side of plots 36-39 and plots 32-35 into St Marys playground is a concern as it will run along the rear of a number of plots (further information at para 1.6).**
- e) The pathway between plots 24-25 is a concern and opens up the rear of a number of properties (further information at paras 1.7-1.8).**
- f) The Open Space area by the pond and rear of plot 1 and plot 8 (further information at para 1.9).**
- g) The enclosed lighting plan does not indicate where column lamps will be placed (further information at para 1.10).**
- h) There do not appear to be as many active windows to provide surveillance for vehicle owners as stated for plots 36-39 and plots 46-51 (further information at para 1.11).**

**The proposed development area comprises open land. Historically it is a reasonably low crime area. However, with more housing and new developments catering for a greater population it is highly likely crime will rise within and around this area. (see para 4.0).**

**Whilst there are concerns at some of these proposals, in the main the police do not have any objections to these proposals. However, alterations to address the concerns above would be preferred.**

On a positive note it is good see that there will be forward facing properties around the pond at the front of plots 9-10. It is also good to see that 1.8m side and rear boundaries of either brick or wooden construction will be implemented to afford owners privacy and security for their properties.

## 1.0 GENERAL COMMENTS ON PROPOSED RESIDENTIAL AREA PLAN

1.1 It is appreciated that designing secure parking to accommodate good surveillance and enough spaces for both homeowners and visitors, along with allocating garages for every household can be a challenge. A number of proposed developments often incorporate a large number of parking spaces that are set too far back that allow an offender to walk unobserved down a resident's driveways and to their rear gates allowing them access to the rear of the owner's property. So it is good to see that there are only two factored into this development at plots 1 and 24, although none would be preferred as research regarding burglaries has shown that around 85% of unlawful entries occur via the rear of a property. (SBD Homes 2019 (V2) pages 21-22, Paras 13.1-13.3 refers).

1.2 Rear parking has been incorporated for plot 34 and again on a number of proposed developments a lot more than this are normally proposed, so it is good to see that only one has been incorporated. However, from the police point of view none would be preferred as they do not provide the resident with surveillance of their vehicle, making them more prone to theft of and from vehicles along with criminal damage and antisocial behaviour. (SBD Homes 2019 (V2) page 22, Paras 16.3-16.4 refers).

1.3 It is a documented fact that where parking spaces are either too far from respective properties or in short supply such problems usually lead to antisocial behaviour, either from residents frustrated at not being able to park within their own living space or from visitors, particularly any who may have parked there in the past and now find it difficult to do so. The resulting problems that such shortages produce include antisocial behaviour, either verbal or physical, along with criminal damage, graffiti and assault. There is a thesis by prominent college professor, Rachel Armitage, from the University of Huddersfield on parking and antisocial behaviour. For further details use the following link: [https://live-cpop.ws.asu.edu/sites/default/files/problems/parking\\_garage\\_theft/PDFs/Car%20Parking Crime and Anti Social.pdf](https://live-cpop.ws.asu.edu/sites/default/files/problems/parking_garage_theft/PDFs/Car%20Parking%20Crime%20and%20Anti%20Social.pdf) One of the main findings of this report stated, "Developments must have allocated car parking spaces for visitors and the design allocation of on street and communal parking must take care to avoid neighbour disputes".

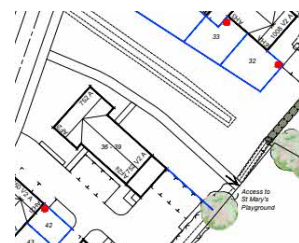
1.4 There appears to be an undercroft (flying freehold) incorporated (pictured right and circled in red) over the entrance to plots 46-51. Factoring this type of design for parking is a particular concern that police discourage because it heightens the risk of car crime, burglary, along with antisocial behaviour, criminal damage, graffiti and arson. The police prefer this type of design is not incorporated as time and again it has been shown that they increase crime, particularly car crime. If this area has to be designed in this manner, it is strongly recommended that security gates are fitted. It is also recommended photocell dusk to dawn lighting that meets BS5489:2020 lighting standards are placed on the side of buildings looking onto such areas in order to deter any casual intrusions.



1.5 The pathway that runs by the front of plots 46-51, leading to the existing buildings at the north of North Close is a concern as it is by an open spaced area that will have vegetation around it that if not regularly maintained could shield an attacker from view and this path will lead down to a main occupied area. It is strongly recommended that lighting is installed within this area, especially by either end of the path and especially where the path meets North Close.

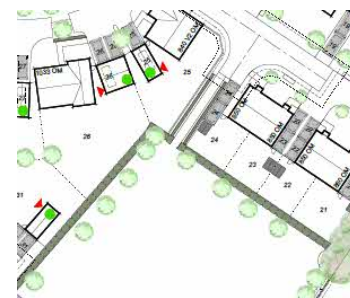


1.6 Similarly the pathway that will run north west to south east from by the pond and plots 1 and 8 and either side of plots 36-39 and plots 32-35 into St Marys playground is a also a concern as it will run along the rear of a number of these plots, opening them up to be more vulnerable to burglary and the positioning of the houses along this stretch affords only a small amount of



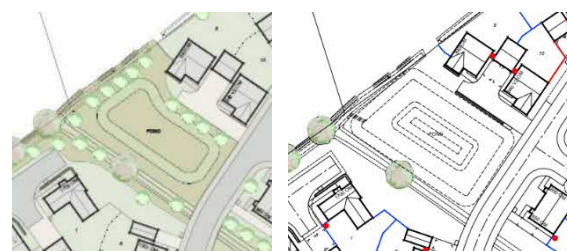
possible surveillance on the southern side from some windows for plots 36-39. If the area is not well lit it probably will not be used as much as intended as locals will be fearful of crime occurring and put off from using it. There needs to be good column LED lighting at least at either end of this pathway.

1.7 Similarly the proposed pathway onto the Open Spaced Area between the side of plots 24 and 25 is a concern as it opens up the rear of these properties to also be more susceptible to burglary and it heightens the possibility of it being a gathering point for people for antisocial behaviour. It cannot be clearly identified how this area will be perimetered on each side as there appears to be what looks like hedging by the side of either plot and plot 25 will encompass a 1.8m high brick wall, whilst plot 24 will have a rear 1.8m high wooden fence. It would be preferred if this design can be altered, by either moving it to another area, or at least opening it up to be more open to surveillance as it is a real concern. A number of similar footpaths in other areas with hedging have historically been set on fire, so if vegetation is proposed along either side of this pathway it is strongly recommended it is not and there is still the problem of the hedging at the rear corners of plot 24 and plot 25. (SBD Homes 2019, pages 15, Para 8.9 refers).



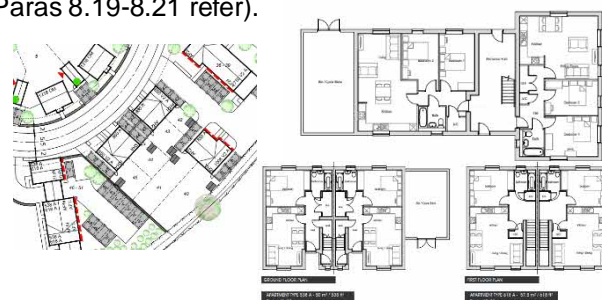
1.8 The design is also a concern from the point of view the footpath opens up the rear of plots 21-26 and plot 31 to be more vulnerable to unlawful incursion and this Open Area if not opened up to lawful activity such as dog walking, walking and running will doubtless become an area for people to congregate and cause antisocial behaviour, as well as possible drug taking. Footpaths should be at least 3m across to allow people to safely pass one another without infringing on personal space and accommodate passing wheelchairs, cyclists and mobility vehicles. These areas also need to have low growing vegetation around them so that an offender cannot conceal themselves and the area needs to have lighting to make users feel safe to use them (SBD Homes 2019 (V2), pages 14-16, Paras 8.1-8.17 refers).

1.9 The Open Space area by a pond and the side of plots 1 and 8 is a concern, as again there is no surveillance from any where on the north eastern side of these properties and could well be an area for people to congregate and cause antisocial behaviour. It is presumed the pond area will be fenced or railed off?



1.10 The enclosed lighting plan does not indicate where column lamps will be placed but it is good to see that an even spread of external lighting has been factored in for the outside of dwellings. It would be good to see a lighting plan and to see how the area and particularly all footpaths will be illuminated. All lighting should conform to BS5489:2020 standards, further information on lighting and how it can be used to reduce crime can be found at <https://www.securedbydesign.com/guidance/research-case-studies-guidance/lighting-against-crime/viewdocument/36> (SBD Homes 2019, pages 16-17, Paras 8.19-8.21 refer).

1.11 There does not appear to be as many active windows as shown on the parking plan for plots 36-39 and plots 46-51. Active windows are windows classed as main usage rooms, bedrooms are not active rooms, but kitchens and living rooms are.



1.12 Care needs to be given to the sighting of any public seating, which could be a magnet for attracting crowds and antisocial issues. (SBD Homes 2019 (V2), page 16, paras 8.18-8.18.7 and page 17-18 paras 9.1-9.5 refer).

1.13 Where vegetation is incorporated either side of any footpath, it is recommended that it is low growing and regularly maintained, to prevent hiding places for any would be offender.

1.14 The design should look at techniques and principles to assist with the orientation and navigation of the site, creating identifiable spaces to discourage and minimise the risk of crime

and Anti-Social Behaviour through natural and informal surveillance.

### 1.15 In particular the detailed design should take account of the following principles:

**Access and movement:** *Places with well-defined and well used routes with spaces and entrances that provide for convenient movement without compromising security.*

**Structure:** *Places should be structured so that different uses do not cause conflict with no recesses, or obstacles for an offender to hide.*

**Surveillance:** *In places where all publicly accessible spaces are overlooked CCTV should be co-ordinated within the lighting and landscape design. Lighting design should be co-ordinated with a CCTV installation and the landscape design to avoid any conflicts and to ensure that the lighting is sufficient to support a CCTV system.*

**Lighting:** *Lighting should be designed to conform to BS 5489-1:2013 and light fittings should be protected where vulnerable to vandalism. The colour rendering qualities of all lamps should be to SBD standard of a minimum of at least 60Ra on the colour rendering index.*

**Ownership:** *Places that promote a sense of ownership, respect, territorial responsibility and community.*

**Physical protection:** *Places that include necessary, well-designed security features.*

**Activity:** *Places where the level of human activity is appropriate to the location and creates a reduced risk of crime and a sense of safety at all times.*

**Management and maintenance:** *Places that are designed with management and maintenance in mind, to discourage crime in the present and the future, encouraging businesses and legitimate business users to feel a sense of ownership and responsibility for their surroundings can make an important contribution to community safety and crime prevention. Clarity in defining the use of space can help to achieve a feeling of wellbeing and limit opportunities for crime.*

## 2.0 SECURE BY DESIGN (SBD)

Experience shows that incorporating security measures during a new build or a refurbishment project reduces crime, fear of crime and disorder.

The role of a Design Out Crime Officer within Suffolk Police is to assist in the design process to achieve a safe and secure environment for residents and visitors without creating a 'fortress environment'.

It would be good to see the development, or at least the Social Housing element built to Secured by Design SBD Homes 2019 accreditation. Further information on SBD can be found at [www.securedbydesign.com](http://www.securedbydesign.com)

A further downloadable document can be obtained using the following link: [https://www.securedbydesign.com/images/downloads/HOMES\\_BROCHURE\\_2019\\_NEW\\_version\\_2.pdf](https://www.securedbydesign.com/images/downloads/HOMES_BROCHURE_2019_NEW_version_2.pdf)

## 3.0 REFERRALS

**3.1 Section 17 of the Crime and Dis-Order Act outlines** the responsibilities placed on local authorities to prevent crime and dis-order.

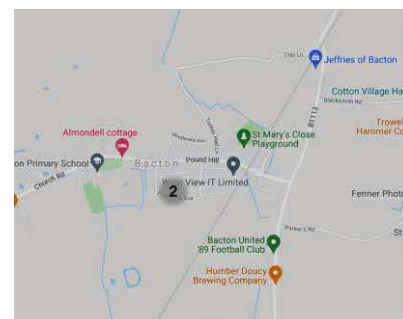
**3.2 The National Planning Policy Frame work on planning policies and decisions to create safe and accessible environments, laid out in chapter 8, para 91b and chapter 12, para 127f, in that developments should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.**

**3.3 The Suffolk Design Guide for Residential Areas- Shape of Development – (Design Principles Security)** Looking at the careful design of a new development in regard to landscaping, planting and footpaths.

**3.4 Department for Transport – Manual for Streets (Crime Prevention)** The layout of a residential area can have a significant impact on crime against property (homes and cars) and pedestrians.

## 4.0 CRIME STATISTICS FOR POST CODE AREA IP14 4NN CODE AREA

**4.1 The crime figures have been obtained from the Suffolk Police Crime computer base and the National Police Crime Mapper web site. The Police Crime Mapper Web site is available for any member of the**





public to view using the following link: [Stowmarket | Police.uk \(www.police.uk\)](https://www.stowmarket.police.uk) and <https://www.suffolkobservatory.info/overview/?geographyId=355e134d218e43fda37e52fb98024d6f&featureId=E05012589>

Offence	Jan 2021	Feb 2021	Mar 2021	Apr 2021	May 2021	Jun 2021
Burglary/Theft				1	1	1
Robbery						
Vehicle Crime						
Criminal 12 Damage/Arson	1					
ASB/Public 18 Order/Harrasmt		1	4		1	
Violent & Sexual Offences 15		1	4	2		2
Shoplifting						
Drugs						
Other Offences					1	
Grand Totals	1	2	8	2	3	3

4.2 The graph right indicates a breakdown of the offences committed around this area between January-June 2021, totalling 19 offences, the majority relating to Violent and Sexual offences, which totalled 9 offences, followed by Public Order/ Antisocial Behaviour offences totalling 6 offences.

4.3 There have been previous problems around the local wooded area in 2016 and 2019, where people have set up tents and been living within them, which has caused some friction.

## 5.0 FINAL CONCLUSION

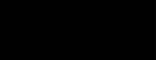
To reiterate, concerns around this development are:

- a) The parking at plots 1 and 24 are set too far back and the parking for plot 34 has rear parking (Page 2, Para 1.1-1.2 refers).
- b) There is an undercroft (flying freehold) incorporated over the entrance to plots 46-51 (Page 2, Para 1.4 refers).
- c) The pathway that runs by the front of plots 46-51, leading to the existing buildings at the north of North Close (Page 2, Para 1.4-1.5 refers).
- d) The pathway that will run north west to south east from by the pond and plots 1 and 8 and either side of plots 36-39 and plots 32-35 into St Marys playground as it will run along the rear of a number of plots (Pages 2-3, Para 1.6 refers).
- e) The pathway between plots 24-25 opening up the rear of these and a number of other properties (Page 3, Paras 1.7-1.8 refers).
- f) Lack of surveillance around the Open Space area by the pond and rear of plot 1 and plot 8 (Page 3, Para 1.9 refers).
- g) The enclosed lighting plan does not indicate where column lamps will be placed (Page 3, Para 1.10 refers).
- h) There do not appear to be many active windows to provide surveillance for vehicle owners as stated for plots 36-39 and plots 46-51 (Page 3, Para 1.11 refers).

I would be pleased to work with the agent and/or the developer to ensure the proposed development incorporates preferred crime reduction elements. This is the most efficient way to proceed with residential developments and is a partnership approach to reduce the opportunity for crime and the fear of crime.

If you wish to discuss anything further or need assistance with the SBD application, please contact me on 01284 774141.

Yours sincerely



Phil Kemp

Designing Out Crime Officer,  
Western and Southern Areas,  
Suffolk Constabulary,  
Raingate Street,  
Bury St Edmunds, Suffolk, IP33 2AP

Philip Isbell - Corporate Manager  
Growth & Sustainable Planning

Mid Suffolk District Council  
Endeavour House, 8 Russell Road, Ipswich IP1 2BX

Website: [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)



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## OUTLINE PLANNING PERMISSION

TOWN AND COUNTRY PLANNING ACT 1990  
THE TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND)  
ORDER 2015

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**Correspondence Address:**

Beacon Planning  
8 Quy Court  
Colliers Lane  
Stow-cum-Quy  
Cambridge  
CB25 9AU  
United Kingdom

**Applicant:**

Pigeon Investment Management Ltd  
C/o Agent

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**Date Application Received:** 17-Feb-18

**Application Reference:** DC/18/00723

**Date Registered:** 23-Feb-18

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**Proposal & Location of Development:**

Outline Planning Application (Access to be considered) Erection of up to 51 new homes, highway improvements including widening of Turkeyhall Lane, provision of Public Open Space and associated infrastructure.

Land To The East Of Turkeyhall Lane And To The North Of North Close, Bacton., , ,

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**Section A – Plans & Documents:**

This decision refers to drawing no./entitled Site Plan 015 - 023 - 001 A - Received 23/02/2018 as the defined red line plan with the site shown edged red. Any other drawing showing land edged red whether as part of another document or as a separate plan/drawing has not been accepted or treated as the defined application site for the purposes of this decision.

The plans and documents recorded below are those upon which this decision has been reached:

Site Plan 015 - 023 - 001 A - Received 23/02/2018  
Plans - Proposed 3273 SK02 P1 - Received 17/02/2018

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**Section B:**

Mid Suffolk District Council as Local Planning Authority, hereby give notice that **OUTLINE PLANNING PERMISSION HAS BEEN GRANTED** in accordance with the application particulars and plans listed in section A subject to the following conditions:

1. ACTION REQUIRED IN ACCORDANCE WITH A SPECIFIC TIMETABLE: TIME LIMIT FOR RESERVED MATTERS APPLICATION

Application for approval of reserved matters must be made not later than the expiration of three years beginning with the date of this permission, and the development must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates the final approval of the last such matter to be approved.

Reason - Required to be imposed pursuant to Section 92 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004

2. ACTION REQUIRED PRIOR TO COMMENCEMENT OF WORKS: PRE-COMMENCEMENT CONDITION: APPROVAL OF RESERVED MATTERS

Before any development is commenced, approval of the details of the appearance, scale and layout of the building(s) and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained in writing from the Local Planning Authority.

Reason - To enable the Local Planning Authority to secure an orderly and well designed development in accordance with the character and appearance of the neighbourhood and in accordance with the Development Plan. This condition is required to be agreed prior to the commencement of any development in accordance with proper planning principles to allow public engagement on the outstanding reserved matters and ensure no significant adverse harm results.

3. APPROVED PLANS & DOCUMENTS

The development hereby permitted shall be carried out in accordance with the drawings/documents listed under Section A above and/or such other drawings/documents as may be approved by the Local Planning Authority in writing pursuant to other conditions of this permission or such drawings/documents as may subsequently be approved in writing by the Local Planning Authority as a non material amendment following an application in that regard.

Reason - For the avoidance of doubt and in the interests of proper planning of the development.

4. ACTION REQUIRED PRIOR TO FIRST USE: VISIBILITY

Before the access is first used visibility splays shall be provided as shown on Drawing No. 3273/SK02/P1 with an X dimension of 2.4 and a Y dimension of 43m and thereafter retained in the specified form. Notwithstanding the provisions of Part 2 Class A of the Town & Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order with or without modification) no obstruction over 0.6 metres high shall be erected, constructed, planted or permitted to grow within the areas of the visibility splays.

Reason: To ensure vehicles exiting the drive would have sufficient visibility to enter the public highway safely and vehicles on the public highway would have sufficient warning of a vehicle emerging in order to take avoiding action.

5. ACTION REQUIRED PRIOR TO COMMENCEMENT: SURFACE WATER

Before the development is commenced details shall be submitted to and approved in writing by the Local Planning Authority showing the means to prevent the discharge of surface water from the development onto the highway. The approved scheme shall be carried out in its entirety before the access is first used and shall be retained thereafter in its approved form.

Reason: To prevent hazards caused by flowing water or ice on the highway.

6. ACTION REQUIRED: DETAILS OF ESTATE ROADS AND FOOTPATHS

Before the development is commenced, details of the estate roads and footpaths, (including layout, levels, gradients, surfacing and means of surface water drainage), shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that roads/footways are constructed to an acceptable standard.

7. ACTION REQUIRED PRIOR TO OCCUPATION: ROADS AND FOOTPATHS

No dwelling shall be occupied until the carriageways and footways serving that dwelling have been constructed to at least Binder course level or better in accordance with the approved details except with the written agreement of the Local Planning Authority.

Reason: To ensure that satisfactory access is provided for the safety of residents and the public.

8. ACTION REQUIRED: DELIVERIES MANAGEMENT PLAN

All HGV traffic movements to and from the site over the duration of the construction period shall be subject to a Deliveries Management Plan which shall be submitted to the planning authority for approval a minimum of 28 days before any deliveries of materials commence. No HGV movements shall be permitted to and from the site other than in accordance with the routes defined in the Plan. The site operator shall maintain a register of complaints and record of actions taken to deal with such complaints at the site office as specified in the Plan throughout the period of occupation of the site.

Reason: To reduce and / or remove as far as is reasonably possible the effects of HGV traffic in sensitive areas.

9. ACTION REQUIRED PRIOR TO COMMENCEMENT OF DEVELOPMENT - HIGHWAYS: PROVISION OF PARKING AND TURNING.

Before the development is commenced details of the areas to be provided for the LOADING, UNLOADING, manoeuvring and parking of vehicles including secure cycle storage and electric vehicle charging points shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To ensure the provision and long term maintenance of adequate on-site space for the parking and manoeuvring of vehicles, where on-street parking and manoeuvring would be detrimental to highway safety.

10. ACTON REQUIRED REFUSE BINS AND COLLECTION AREAS

Prior to the commencement of works above slab level details of the areas to be provided for storage of Refuse/Recycling bins shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out for each dwellinghouse before that dwellinghouse is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that refuse recycling bins are not stored on the highway causing obstruction and dangers for other users.

11. ACTION REQUIRED PRIOR TO FIRST OCCUPATION: OFF-SITE HIGHWAY WORKS

Prior to the first occupation of the dwellings hereby permitted the works within the public highway as shown on Drawing No 3273/SK02/P1 shall be designed, constructed and completed in agreement with Suffolk County Council Highways,

Reason: In the interests of highway safety to ensure that satisfactory highway construction is provided for the safety of the public.

12. RESTRICTION ON CONSTRUCTION HOURS OF OPERATION

All works and ancillary operations, which are audible at the site boundary, or at such other place as may be agreed with the Council, shall be carried out only between the hours of 8am and 6pm on Mondays to Fridays and between the hours of 9am and 1pm on Saturdays and at no time on Sundays and Bank Holidays. Deliveries/collections shall only be made during these hours.

Reason: To minimise the detriment to nearby residential amenity.

13. ACTION REQUIRED: CONSTRUCTION MANAGEMENT PLAN

No development shall commence until a construction management plan has been submitted to and approved in writing by the Local Planning Authority. The construction management plan shall include details of:

- o Means of access, traffic routes, vehicle parking and manoeuvring areas (site operatives and visitors).
- o Loading and unloading of plant and materials.
- o Wheel washing facilities.
- o Lighting.
- o Location and nature of compounds and storage areas (including maximum storage heights) and factors to prevent wind-whipping.
- o Waste storage and removal.
- o Temporary buildings and boundary treatments.
- o Dust management measures.
- o Noise and vibration management (to include arrangements for monitoring, and specifically for any concrete breaking and any piling) and;
- o Litter management during the construction phases of the development.

Thereafter, the approved construction plan shall be fully implemented and adhered to during all phases of the development hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

- o During any ground works/construction there shall be no burning of materials on the site.
- o Any external lighting associated with the development during any ground works/construction shall be kept to the minimum necessary for the purposes of security and site safety and shall prevent upward and outward light radiation.

Note: The Construction Management Plan shall cover the construction phases of the above development. The applicant should have regard to BS 5228:2009 Code of Practice of Noise and Vibration Control on Construction and Open Sites.

Reason - To minimise detriment to nearby residential amenity.

14. ACTION REQUIRED: SURFACE WATER DRAINAGE SCHEME TO BE AGREED

Concurrent with the first reserved matters application(s) a surface water drainage scheme shall be submitted to, and approved in writing by, the local planning authority. The scheme shall be in accordance with the approved FRA and include:

- a. Dimensioned plans and drawings of the surface water drainage scheme;
- b. Modelling shall be submitted to demonstrate that the surface water runoff will be restricted to 4.2l/s for all events up to the critical 1 in 100 year rainfall events including climate change as specified in the FRA;
- c. Modelling of the surface water drainage scheme to show that the attenuation/infiltration features will contain the 1 in 100 year rainfall event including climate change;
- d. Modelling of the surface water conveyance network in the 1 in 30 year rainfall event to show no above ground flooding, and modelling of the volumes of any above ground flooding from the pipe network in a 1 in 100 year climate change rainfall event, along with topographic plans showing where the water will flow and be stored to ensure no flooding of buildings or offsite flows;
- e. Topographical plans depicting all exceedance flowpaths and demonstration that the flows would not flood buildings or flow offsite, and if they are to be directed to the surface water drainage system then the potential additional rates and volumes of surface water must be included within the modelling of the surface water system;

The scheme shall be fully implemented as approved.

Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development.

15. ACTION REQUIRED: SURFACE WATER DRAINAGE SCHEME

Concurrent with the first reserved matters application(s) details of the implementation, maintenance and management of the surface water drainage scheme shall be submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

16. IMPLEMENTATION OF SUSTAINABLE URBAN DRAINAGE

The development hereby permitted shall not be occupied until details of all Sustainable Urban Drainage System components and piped networks have been submitted, in an approved form, to and approved in writing by the Local Planning Authority for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register as per s21 of the Flood and Water Management Act.

17. ACTION REQUIRED: CONSTRUCTION SURFACE WATER MANAGEMENT PLAN

No development shall commence until details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the local planning authority. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction.

The approved CSWMP shall include:

- a. Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include :-
  - i. Temporary drainage systems
  - ii. Measures for managing pollution / water quality and protecting controlled waters and watercourses
  - iii. Measures for managing any on or offsite flood risk associated with construction

Reason: To ensure the development does not cause increased flood risk, or pollution of watercourses in line with the River Basin Management Plan.

18. ACTION REQUIRED: FOUL WATER STRATEGY

No development shall commence until a foul water strategy has been submitted to and approved in writing by the Local Planning Authority. No dwellings shall be occupied until the works have been carried out in accordance with the foul water strategy so approved unless otherwise approved in writing by the Local Planning Authority.

Reason: To prevent environmental and amenity problems arising from flooding.

19. ACTION REQUIRED: AGREEMENT OF MEASURES TO IMPROVE SUSTAINABILITY OF DEVELOPMENT

No development shall commence above slab level until a scheme for the provision and implementation of water, energy and resource efficiency measures has been submitted to and approved, in writing, by the Local Planning Authority.

The scheme shall include a clear timetable for the implementation of the measures in relation to the occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed.

Reason - To enhance the sustainability of the development through better use of water, energy and resources reduce harm to the environment and result in wider public benefit in accordance with the NPPF.

20. ACTION REQUIRED PRIOR TO THE COMMENCEMENT OF DEVELOPMENT -  
ARCHAEOLOGICAL WORKS

No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under part 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

REASON: To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

21. ACTION REQUIRED: PROVISION OF FIRE HYDRANTS

Prior to the commencement of development a scheme for the provision of fire hydrants shall be submitted to and approved in writing by the Local Planning Authority. The scheme as may be approved shall be implemented in full in accordance with the agreed details, including the timescale.

Reason: To provide appropriate fire hydrant provision for the development.

22. ACTION REQUIRED: ECOLOGICAL MITIGATION AND ENHANCEMENT



All ecological mitigation and enhancement measures and/or works shall be carried out in accordance with the details contained in the Preliminary Ecological Appraisal (Hopkins Ecology Ltd, February 2018) as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.

Reason: To address the LPA's duties under the Habitat Regulations 2017 the Wildlife and Countryside Act 1981 as amended and s40 of the NERC Act 2006 (priority Habitats and Species)

23. ACTION REQUIRED: CONSTRUCTION MANAGEMENT FOR BIODIVERSITY

A construction environmental management plan (CEMP: Biodiversity) shall be submitted to and approved in writing by the local planning authority prior to the commencement of development.

The CEMP (Biodiversity) shall include the following:

- a) Risk assessment of potentially damaging construction activities.
- b) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction
- c) The location and timing of sensitive works to avoid harm to biodiversity features.
- d) Responsible persons and lines of communication.
- e) Use of protective fences, exclusion barriers and warning signs.
- f) The containment, control and removal of Schedule 9 Invasive species.
- g) Precautionary mitigation measures for small mammals (Priority Species).

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason: To allow the LPA to discharge its duties under the UK Habitats Regulations, the Wildlife & Countryside Act 1981 as amended, 40 of the NERC Act 2006 (Priority habitats & species) and the Environmental Protection Act 1990 and the Environmental Protection Act Duty of Care Regulations 1991.

24. ACTION REQUIRED PRIOR TO COMMENCEMENT: LANDSCAPING SCHEME

Before any development is commenced, and concurrent with the submission of the Reserved Matters application(s), details of hard and soft landscaping shall be submitted to and approved in writing by the local planning authority.

Reason: To secure a detailed landscaping scheme to ensure appropriate mitigation is secured having regards to the existing use of the site and surroundings uses.

25. ON GOING REQUIREMENT OF DEVELOPMENT: TIMESCALE FOR LANDSCAPING

All changes in ground levels, hard landscaping, planting, seeding or turfing shown on the approved landscaping details shall be carried out in full during the first planting and seeding season (October - March inclusive) following the commencement of the development or in such other phased arrangement as may be approved, in writing, by the Local Planning Authority up to the first use or first occupation of the development. Any trees, hedges, shrubs or turf identified within the approved landscaping details (both

proposed planting and existing) which die, are removed, seriously damaged or seriously diseased, within a period of 10 years of being planted or in the case of existing planting within a period of 5 years from the commencement of development, shall be replaced in the next planting season with others of similar size and species.

Reason - To ensure that the approved landscaping scheme has sufficient time to establish, in the interests of visual amenity and the character and appearance of the area.

26. ARBORICULTURAL IMPACT ASSESSMENT AND METHOD STATEMENT

The development shall be undertaken in accordance with the Arboricultural Impact Assessment and Method Statement (CA Ref: CA17/063) prepared by Corsican Associates.

Reason: In order to protect the amenity of existing trees.

27. ACTION REQUIRED: LAND CONTAMINATION

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted a remediation strategy to the Local Planning Authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason - To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off site receptors

28. ACTION REQUIRED: LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN

A landscape and ecological management plan (LEMP) shall be submitted to, and be approved in writing by, the local planning authority. The content of the LEMP shall include the following.

- a) Description and evaluation of features to be managed.
- b) Ecological trends and constraints on site that might influence management.
- c) Aims and objectives of management.
- d) Appropriate management options for achieving aims and objectives.
- e) Prescriptions for management actions.
- f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).
- g) Details of the body or organization responsible for implementation of the plan.
- h) Ongoing monitoring and remedial measures.

The LEMP shall also include details of the legal and funding mechanism(s) by which the long- term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details.

Reason: To allow the LPA to discharge its statutory duties under the UK Habitats Regulations 2017, the Wildlife and Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority Habitats and species)

29. ACTION REQUIRED PRIOR TO OCCUPATION: LIGHTING DESIGN SCHEME

A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority prior to the commencement of development.

The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason: To allow the LPA to discharge its statutory duties under the UK Habitats Regulations 2017, the Wildlife and Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority Habitats and species)

30. ACTION REQUIRED CONCURRENT WITH RESERVED MATTERS: WASTE VEHICLE MANOEUVRING

Concurrent with the submission of reserved matters application details shall be submitted to and approved in writing by the Local Planning Authority to demonstrate waste vehicle manoeuvring. Details as may be approved shall be implemented in full in accordance with the approved plans.

Reason: To ensure that adequate road space is provided for turning and manoeuvring of waste collection vehicles to protect highway safety.

31. SPECIFIC RESTRICTION ON DEVELOPMENT: REMOVAL OF PERMITTED DEVELOPMENT RIGHTS

Notwithstanding Section 55 (2)(a)(ii) of the Town and Country Planning Act 1990 as amended and the provisions of Article 3, Schedule 2 Part 1 Classes A to D of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification):- - no enlargement, improvement, insertion of new openings or other alteration of the dwelling house(s) shall be carried out, except pursuant to the grant of planning permission on an application made in that regard.

Reason - To enable the Local Planning Authority to retain control over the development in the interests of the amenity of the locality and to safeguard local distinctiveness.

32. ACTION REQUIRED: ACOUSTIC MEASURES

Concurrent with the first reserved matters application details of a scheme for acoustic measures to protect residential amenity shall be submitted to and approved in writing by

the Local Planning Authority and implemented in full in accordance with the approved details prior to the first occupation of the dwelling to which the measures relate.

Reason: To ensure that appropriate standards of residential amenity are provided given nearby impacts.

## **SUMMARY OF POLICIES WHICH ARE RELEVANT TO THE DECISION:**

NPPF - National Planning Policy Framework  
FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development  
FC02 - Provision And Distribution Of Housing  
CS01 - Settlement Hierarchy  
CS02 - Development in the Countryside & Countryside Villages  
CS03 - Reduce Contributions to Climate Change  
CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment  
CS06 - Services and Infrastructure  
GP01 - Design and layout of development  
HB01 - Protection of historic buildings  
HB14 - Ensuring archaeological remains are not destroyed  
H04- Altered Policy H4  
H07 - Restricting housing development unrelated to needs of countryside  
H13 - Design and layout of housing development  
H14 - A range of house types to meet different accommodation needs  
H15 - Development to reflect local characteristics  
H16 - Protecting existing residential amenity  
H17 - Keeping residential development away from pollution  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
RT04 - Amenity open space and play areas within residential development  
RT12 - Footpaths and Bridleways  
CL08 - Protecting wildlife habitats

## **NOTES:**

1. **Statement of positive and proactive working in line with the National Planning Policy Framework (NPPF)**

The proposal has been assessed with regard to adopted development plan policies, the National Planning Policy Framework and all other material considerations. The NPPF encourages a positive and proactive approach to decision taking, delivery of sustainable development, achievement of high quality development and working proactively to secure developments that improve the economic, social and environmental conditions of the area. In this case the applicant took advantage of the Council's pre-application service prior to making the application. The opportunity to discuss a proposal prior to making an application allows potential issues to be raised and addressed pro-actively at an early stage, potentially allowing the Council to make a favourable determination for a greater proportion of applications than if no such service was available.

2. **Highways Note**

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority. Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense. The County Council's West Area Manager should be contacted at West Suffolk House, Western Way, Bury St Edmunds, IP33 3YU. Telephone 01284 758868.

3. The applicant will be required to enter into a legal agreement under the provisions of Section 278 of the Highways Act 1980 relating to the construction and subsequent adoption of the highway improvements. Amongst other things the Agreement will cover the specification of the highway works, safety audit procedures, construction and supervision and inspection of the works, bonding arrangements, indemnity of the County Council regarding noise insulation and land compensation claims, commuted sums, and changes to the existing street lighting and signing.

4. **Highways Note**

The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate roads.

5. . Any works to a watercourse may require consent under section 23 of the Land Drainage Act 1991

. Any discharge to a watercourse or groundwater needs to comply with the Water Environment (Water Framework Directive) (England and Wales) Regulations 2003

. Any discharge of surface water to a watercourse that drains into an Internal Drainage Board catchment may be is subject to payment of a surface water developer contribution

. Any works to lay new surface water drainage pipes underneath the public highway will need a section 50 license under the New Roads and Street Works Act

Babergh and Mid Suffolk District Councils have adopted Community Infrastructure Levy (CIL) charging which affects planning permissions granted on or after 11th April 2016 and permitted development commenced on or after 11th April 2016. If your development is for the erection of a new building, annex or extension or the change of use of a building over 100sqm in internal area or the creation of a new dwelling or holiday let of any size your development may be liable to pay CIL and you must submit relevant documents to our Infrastructure Team telling us more about your development, who will pay CIL and when the development will start. You will receive advice on the amount you have to pay and what you have to do and you can find more information about CIL on our websites here:

[CIL in Babergh](#) and [CIL in Mid Suffolk](#) or by contacting the Infrastructure Team on: [infrastructure@baberghmidsuffolk.gov.uk](mailto:infrastructure@baberghmidsuffolk.gov.uk)

This relates to document reference: DC/18/00723

**Signed: Philip Isbell**

**Dated: 3rd July 2018**

**Corporate Manager  
Growth & Sustainable Planning**

## **Important Notes to be read in conjunction with your Decision Notice**

### **Please read carefully**

This decision notice refers only to the decision made by the Local Planning Authority under the Town and Country Planning Acts and DOES NOT include any other consent or approval required under enactment, bylaw, order or regulation.

**Please note: depending upon what conditions have been attached to the decision, action may be required on your part before you can begin your development.** Planning conditions usually require that you write to the Local Planning Authority and obtain confirmation that you have discharged your obligations. You should read your decision notice in detail and make a note of the requirements placed on you by any conditions. **If you proceed with your development without complying with these conditions you may invalidate your permission and put your development at risk.**

### **Discharging your obligations under a condition:**

You should formally apply to discharge your conditions and the relevant application forms are available on the Council's website. The Local Planning Authority has 8 weeks to write to you after you submit the details to discharge your conditions. You should always account for this time in your schedule as the Local Planning Authority cannot guarantee that conditions can be discharged quicker than this. A fee is applicable for the discharge of planning conditions.

### **Building Control:**

You are reminded that the carrying out of building works requires approval under the Building Regulations in many cases as well as a grant of planning permission. If you are in doubt as to whether or not the work, the subject of this planning permission, requires such approval, then you are invited to contact the Building Control Section of Babergh and Mid Suffolk District Councils.

## Appeals to the Secretary of State

1. If the applicant is aggrieved by the decision of the Local Planning Authority to refuse permission or consent, or to grant permission or consent subject to condition, they may appeal to the Secretary of State for Communities and Local Government. The applicant's right of appeal is in accordance with the appropriate statutory provisions which follow:

Planning Applications: Section 78 Town and Country Planning Act 1990

Listed Building Applications: Section 20 Planning (Listed Buildings and Conservation Areas) Act 1990

Advertisement Applications: Section 78 Town and Country Planning Act 1990  
Regulation 15

Town and Country Planning (Control of Advertisements) Regulations 2007

Notice of appeal in the case of applications for advertisement consent must be served within eight weeks of receipt of this notice. Notice of Householder and Minor Commercial Appeals must be served within 12 weeks, in all other cases, notice of appeal must be served within six months of this notice. If this is a decision on a planning application relating to the same or substantially the same land and development as is already the subject of an enforcement notice, if you want to appeal against your local planning authority's decision on your application, then you must do so within 28 days of the date of this notice. If an enforcement notice is served relating to the same or substantially the same land and development as in your application and if you want to appeal against your local planning authority's decision on your application, then you must do so within: 28 days of the date of service of the enforcement notice, or within six months of the date of this notice, whichever period expires earlier.

Appeals must be made on a form which is obtainable from The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN or online at <https://www.gov.uk/government/publications/modelnotification-notice-to-be-sent-to-an-applicant-when-permission-is-refused>

The Secretary of State has power to allow a longer period for the giving of a notice of appeal but he/she will not normally be prepared to exercise this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State is not required to entertain an appeal if it appears to him/her that permission for the proposed development could not have been granted by the Local Planning Authority, or could not have been so granted otherwise than subject to the conditions imposed by it, having regard to the statutory requirements\*, to the provisions of the Development Order, and to any directions given under the Order. The Secretary of State does not in practice refuse to entertain appeals solely because the decision of the Local Planning Authority was based on a direction given by him/her.

2. If permission or consent to develop land or carry out works is refused or granted subject to conditions, whether by the Local Planning Authority or by the Secretary of State and the owner of the land claims that the land has become incapable of reasonable beneficial use by the carrying out of any development or works which has been or would be permitted they may serve on the Council of the district in which the land is situated, a purchase notice requiring the Council to purchase his interest in the land in accordance with the provisions of Section 137 of the Town and Country Planning Act 1990 or Section 32 Planning (Listed Buildings and Conservation Areas) Act 1990.

\*The statutory requirements are those set out in Section 79(6) of the Town and Country Planning Act 1990, namely Sections 70 and 72(1) of the Act.

# Agenda Item 7d

## Committee Report

**Item No:** 4

**Reference:** DC/18/00723

**Case Officer:** Gemma Walker

**Ward:** Bacton and Old Newton

**Ward Member:** Jill Wilshaw

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## **RECOMMENDATION – GRANT OUTLINE PLANNING PERMISSION WITH CONDITIONS**

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### **Description of Development**

Outline planning application (access to be considered) - erection of up to 51 new homes, highway improvements including widening of Turkeyhall Lane, provision of public open space and associated infrastructure.

### **Location**

Land to the east of Turkeyhall Lane and to the north of North Close, Bacton

**Parish:** Bacton

**Expiry Date:** 04/05/18

**Application Type:** Outline planning application

**Development Type:**

**Applicant:** Pigeon Investment Management Ltd

**Agent:** Beacon Planning Ltd

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## **PART ONE – REASON FOR REFERENCE TO COMMITTEE**

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The application is referred to committee for the following reason:

It is a 'Major' application for:

- a residential development for 15 or more dwellings.

### **Details of Previous Committee/Resolutions and Member Site Visit**

None.

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## **PART TWO – POLICIES AND CONSULTATION SUMMARY**

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### **Summary of Policies**

Relevant policies in the Core Strategy Focused Review 2012 and Mid-Suffolk Local Plan 1998:

FC01 - Presumption In Favour of Sustainable Development

FC01\_1 - Mid Suffolk Approach to Delivering Sustainable Development

FC02 - Provision and Distribution of Housing

CS01 - Settlement Hierarchy

CS02 - Development in the Countryside & Countryside Villages

CS03 - Reduce Contributions to Climate Change



CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment  
CS06 - Services and Infrastructure  
GP01 - Design and layout of development  
HB01 - Protection of historic buildings  
HB14 - Ensuring archaeological remains are not destroyed  
H07 - Restricting housing development unrelated to needs of countryside  
H13 - Design and layout of housing development  
H14 - A range of house types to meet different accommodation needs  
H15 - Development to reflect local characteristics  
H16 - Protecting existing residential amenity  
H17 - Keeping residential development away from pollution  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
RT04 - Amenity open space and play areas within residential development  
RT12 - Footpaths and bridleways  
RT13 – Water based recreation  
CL08 - Protecting wildlife habitats

Suffolk Design Guide  
National Planning Policy Framework (NPPF)

#### Supplementary Planning Documents

Suffolk Adopted Parking Standards (2015)

#### Consultations and Representations

During the course of the application consultation and representations from third parties have been received. These are summarised below.

#### A: Summary of Consultations

##### **Bacton Parish Council**

No objection. Bacton Parish Council wish to support this application on the condition that the specialists in Highways give particular consideration to planning policies T10 and T11 in understanding the proposed site is accessed from a preferred route for HGV's. Concern is for the safe provision of access to and from the site given the suitability of the existing road, and the turning of vehicles within the curtilage of the site and at the Turkey Hall Lane/Pound Hill junction. Consideration should also be taken to improving facilities for pedestrians and cyclists. Policy CS4 gives reference to flooding and drainage and the Council request this is also given careful consideration by an experienced specialist as this area is known to have flooding issues. Timing and development of infrastructure provision is a concern to the Council under policy CS6 and the Parish Council would like to be consulted over plans to deliver this.

##### **SCC Highways Authority**

We have reviewed the Transport Assessment and the data supplied with this application, the summary of our findings are as follows:

- The maximum 85%ile speed recorded on Turkey Hall Lane adjacent to the site is 26mph and the required visibility for the access on the highway can be met.
- The total daily 2-way flow of traffic on Turkey Hall Lane is 186 vehicles and the additional vehicles from the development will not make the road and junctions over capacity.
- The estimated total vehicle trips in the AM peak hour is 30 vehicles (average 1 vehicle every 2 minutes) which is acceptable in this location.
- There are 2 slight injury accidents on Pound Lane; not near the site.

- The proposed carriageway widening and footway works improves access to village amenities for vehicles, cyclists and pedestrians.

Taking all the above into account, it is our opinion that this development would not have a severe impact (NPPF para 32) therefore we do not object to the proposal subject to standard conditions.

### **BMSDC Heritage**

The Heritage Team considers that the proposal would cause a low level of less than substantial harm to a designated heritage asset because it would adversely impact the setting of a listed building.

The application is for outline planning permission for 51 new houses on agricultural land, as well as associated highways improvements, on land on the north side of Bacton. The heritage concern relates to the impact of the development on the setting of the Grade II Listed Turkey Hall, a c.17 house with paddock located adjacent to the proposal site to the northwest.

The development site would cover two fields on the edge of Bacton's existing settlement boundary. To the south of the development site is a c.20 housing development and a playing field. To the north west is Turkey Hall, which is currently surrounded on three sides by agricultural land. To its south west, across Turkeyhall Lane, are a few, detached dwellings with fields beyond.

Historic maps show that the setting of Turkey Hall was historically characterised by its isolated position within agricultural land. While the built-up boundary has moved relatively close to the building more recently, there is still enough separation for the building to be read as within agricultural land and distinct from the village. Recently, two bungalows have been built on the opposite side of Turkeyhall Lane, to the south west of the listed building, which do erode this character to a limited extent. Nonetheless, these buildings are set back in their plots, limited in massing and within an area surrounded by mature vegetation, so it is considered that they only have a limited impact upon the setting of Turkey Hall. Additionally, when considered as a group, Turkey Hall and these bungalows still feel somewhat isolated from the denser development to the south, due to the dense vegetation along this portion of the west side of Turkeyhall Lane.

In contrast, the land to the east, where the proposal site is, is much more open, so the proposed development would be much more dominant within the setting of Turkey Hall. Additionally, it would result in a significant parcel of land between the listed building and the c.20 development to the south becoming suburbanised. Therefore, the historic characteristic of isolation regarding Turkey Hall, still preserved to a large extent, would be severed, as the listed building would be read as within the context of the housing estate, rather than beyond one.

In conclusion, the application does not meet the requirements of s.66 of the P(LBCA)A 1990, nor the policies within the NPPF and the Local Plan. It is for these reasons that the Heritage Team does not support the proposal.

If the proposal were to be granted, the Heritage Team would recommend that any buildings located in the plots adjacent to Turkey Hall and/or its land were kept to one storey, reflecting the existing bungalows to the south west, to avoid them dominating the listed building and its land.

### **BMSDC Heritage – additional comments following amendment**

Overall, the amendments would reduce the harm to the setting, and thus the significance of Turkey Hall. Nonetheless, there remains a low level of harm, as any proposal to develop this site, especially along Turkeyhall Lane, would reduce the isolated setting of Turkey hall and thus negatively impact its significance.

### **Suffolk Preservation Society**

We have concerns regarding the impact of the proposals on the setting of Grade II listed Turkey Hall, a 17th century farmhouse located adjacent to the north west of the site.

We would suggest that a substantial landscape buffer area is incorporated into the site layout to protect the setting of Turkey Hall, by allowing the new dwellings to be sited away from this boundary, and enhanced planting be used to further screen the new development from this direction.

Additional comments following revised layout:

Many thanks for notifying SPS on the revisions to this application. We had raised concerns in our previous response regarding the impact of the development on the setting of the listed farmhouse. We therefore welcome that the amendments to layout which show the large detached dwelling nearest to the listed farmhouse has been removed. We also welcome the substantial amount of new tree planting which should help to screen the development from the heritage asset. This planting will also soften the transition from the village to its rural surrounding and retain a degree of separation between the village edge and Turkey Hall when travelling out of the village along the road.

Planting to the boundaries and within the development will also help to integrate the scheme into the countryside/ village edge. We would also like to see appropriate boundary treatment to the countryside edges - e.g post and rail fencing rather than close boarded fencing. In addition the fencing of the garden boundaries of plots 51 and 52 which run alongside the lane should also be carefully considered.

### **County Development Contributions Manager**

Education:

Based on existing forecasts, SCC will have some limited surplus places available at the primary school for 10 pupils meaning that for the remaining 1 place required this will result in a future CIL funding bid of at least £12,181 (2017/18 costs). At the secondary school level SCC will have no surplus places available, for which a future CIL funding bid of at least £168,299 (2017/18 costs) will be made.

Early years:

From these development proposals SCC would anticipate up to 6 pre-school children arising, at a cost per place of £8,333.

Libraries:

A CIL contribution of £216 per dwelling is sought i.e. £11,016, which will be spent on enhancing provision at the nearest library

### **County Archaeological Service**

This proposed development site lies in an area of archaeological potential as recorded by information held by the County Historic Environment Record (HER). The development is located to the east of, and in a similar topographic location to a Roman villa site and a prehistoric site including an enclosure and roundhouses (HER no. WYV 010). Although there are no recorded heritage assets within the proposed development site itself, this area has not been the subject of previous systematic investigation and recording. The scale of the site is such that it offers potential for the discovery of hitherto unknown important features and deposits. The proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit and below ground heritage assets that exist. There are no grounds to consider refusal of permission in order to achieve preservation in situ of any important heritage assets. Two standard conditions recommended.

### **County Fire and Rescue Service**

No objection – condition requiring fire hydrants to be installed.

### **Place Services - Ecology**

No objection subject to standard ecological conditions.

### **Lead Flood Authority**

No objection subject to standard conditions.

### **BMSDC Air Quality**

No objection.

**BMSDC Land Contamination**

No objection.

**BMSDC Waste**

No objection subject to condition.

**BMSDC Environmental Health-Noise/Odour/Light/Smoke**

No objection subject to conditions.

**BMSDC Housing Enabling Officer**

No objection.

Open market homes: This proposal has submitted an indicative layout with 17 bungalows out of a total of 33 open market homes which equals 51% of the homes for sale on this site which is to be welcomed due to the aging population in Mid Suffolk and particularly in our rural villages.

Affordable houses: revised mix and sizes required.

**BMSDC Arboricultural Officer**

I have no objection to this application subject to it being undertaken in accordance with the protection measures outlined in the accompanying arboricultural report, an appropriate condition should be used for this purpose. Although a small number of trees are proposed for removal these are of limited amenity value and/or poor condition and their loss will have negligible impact upon the appearance and character of the local area.

**NHS England**

Provision of increased capacity within existing healthcare premises to be sought by CIL contributions. Funds likely to be used to reconfigure/extend Manor Farm Branch Surgery.

**Environment Agency**

No objection.

**Anglian Water**

No objection subject to foul water strategy condition.

**B: Representations**

Objections received on the following grounds (summarised):

Highway safety

Unsafe access

Construction traffic

Impact on the character of Turkey Hall Lane and Clay Lane

Heritage impacts on Turkey Hall

Noise and light pollution

Drainage and surface water run off issues

Excessive traffic generation

Flooding issues

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## **PART THREE – ASSESSMENT OF APPLICATION**

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### **1. The Site and Surroundings**

- 1.1 The application site comprises (Grade 3) agricultural land to the north of Bacton, which is designated as a Key Service Centre in the Core Strategy. The site is located between residential properties to the west (Woodward Avenue) and south (North Close), and the Diss to Ipswich railway line to the east. The site fronts Turkey Hall Lane. To the east of the site is St Mary's Close Playground. The site abuts the village settlement boundary on its southern and western sides. To the north are arable fields.
- 1.2 In respect of heritage assets, at the north western corner of the site is Turkey Hall, a Grade II listed property and its associated outbuildings and land, which wrap around this corner of the site and front onto Turkey Hall Lane. This is the nearest listed building to the site, with others located some distance away in the central body of the village.
- 1.3 The site is not in or abutting a Conservation Area (there are no Conservation Areas in the village). The site is not in an area of special character designation such as an Area of Outstanding Natural Beauty or Special Landscape Area. Nor is the site adjoining, or in proximity to, any designated landscape areas of special significance.
- 1.4 The site measures 3.52 ha (8.7 acres). The site is located in Flood Zone 1.
- 1.3 There is an existing field access to the site from Turkey Hall Lane. There are no Public Right of Ways that traverse or run close to the site.

### **2. The Proposal**

- 2.1. The application seeks outline planning permission with all matters reserved except access for up to 51 dwellings.
- 2.2 An indicative layout has been provided to demonstrate how the site could develop if outline permission is granted. As noted in the supporting Planning Statement, the purpose of the indicative layout plan is simply to illustrate that the quantum of development, that being eight dwellings, can be accommodated at the site in an acceptable form. Key elements of the indicative layout are as follows:
  - Upgrade of the field access (to a new junction) on Turkey Hall Lane to serve the development.
  - Mix of detached and semi-detached dwellings at a density of 22 dwellings per hectare excluding the areas reserved as open space.
  - 35% affordable housing provision (18 dwellings).
  - Localised upgrade works to Turkey Hall Lane, widened to allow large vehicles to pass and incorporation of a footpath network.
  - Single and double storey dwellings envisaged.
  - Significant areas of public open space (totalling 1.2ha) comprising local play areas, public open spaces and green infrastructure.
  - Three attenuation ponds.
  - Pedestrian and cycling connectivity through North Close with an improved cycle/footpath to Pound Hill as well as via the existing recreation ground.
  - Retention and enhancement of all existing boundaries through new landscaping proposals.
  - Foul water pumping station.

### **3. The Principle of Development**

- 3.1 The applicant engaged with Council officers prior to making the application. Pre-application officer advice was positive subject to detailed design matters. The applicant also engaged with the local community prior to application lodgement.
- 3.2 The Draft Babergh and Mid Suffolk Joint SHLAA, May 2016, identifies the application site as SS0099. In respect to development suitability the Draft SHELAA states:

*Site is potentially suitable, but the following constraints have been identified which would require further investigation:*

*Highways – regarding access, footpaths and infrastructure required*

*Heritage - Potential impact upon a Grade II listed building*

*Estimated dwelling yield: 50*

- 3.3 The Council cannot currently demonstrate a five year housing supply. Paragraph 49 of the NPPF states that relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a five year housing supply. Where policies cannot be considered up-to-date, the NPPF (paragraph 14) cites the presumption in favour of sustainable development and states that planning permission should be granted unless i) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole; or ii) specific policies in the NPPF indicate development should be restricted.
- 3.4 The NPPF requires that development be sustainable and that adverse impacts do not outweigh the benefits to be acceptable in principle. Paragraph 7 of the NPPF sets out three dimensions for sustainable development: economic, social and environmental.
- 3.5 The proposed scheme represents sustainable development, responding positively to the three dimensions, in accordance with the NPPF. The principle of developing the site for residential purposes is therefore acceptable. The following assessment outlines why this principle is accepted.

### **4. Economic, Social and Environmental Sustainable Development**

- 4.1 Paragraph 55 of the NPPF seeks to promote sustainable development in rural areas advising 'housing should be located where it will enhance or maintain the vitality of rural communities', and recognises that where there are groups of smaller settlements, development in one village may support services in a village nearby.
- 4.2 The site is located in the countryside, however, it lies adjacent the village settlement boundary. Bacton is a designated Key Service Centre, served by a very good range of local services and facilities, including a primary school, convenience store, medical centre, post office, village hall, public house, football club, church and mobile library service. Many of the amenities are within 800m of the site. Given the proximity of the site to these facilities, there is real opportunity that residents will walk and cycle to these facilities, particularly as pedestrian and cycle connections will be improved as part of the development.
- 4.3 The application is supported by a Transport Assessment (TA). The TA observes that the village benefits from good bus links to Stowmarket, Eye and Diss, with rail connections from Stowmarket to Ipswich, Cambridge and London on a regular basis. The site is within 400m of the bus stop on Station Road, within easy walking distance. Sustainable modes of transport are credible options for village residents and therefore of future occupants of the proposed development.

- 4.4 The site is a sustainable location for housing given the conveniently accessible facilities that the village provides. This conclusion is supported by the relevant assessment contained in the Draft SHELAA which concludes the site is suitable for residential development. It is noted the proposed lot yield is the same as the quantum suggested in the draft SHELAA (50 dwellings). As such the proposal has benefits with regards to the environmental strand of sustainable development.
- 4.5 The proposed development would add to the housing both in the village and in the district, which would be both a social and economic benefit, with the construction phase providing some benefits, and subsequent additional residents supporting existing services. As such the proposal provides both economic and social benefits.

## **5. Site Access, Parking and Highway Safety Considerations**

- 5.1 Access is a matter sought for approval. Vehicular access to the site will be via an upgrade of the existing Turkey Hall Lane field access.
- 5.2 Paragraph 32 of the NPPF confirms that development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe. This is interpreted as referring to matters of highway capacity and congestion, as opposed to matters of highway safety. The courts have held that paragraph 32 should not be interpreted to mean that anything other than a severe impact on highway safety would be acceptable (*Mayowa-Emmanuel v Royal Borough of Greenwich [2015] EWHC 4076 (Admin)*).
- 5.3 The Highway Authority raises no objection to the scheme on highway safety grounds. The local highway network can readily accommodate the anticipated increase in traffic generated by the proposed development. Visibility at the access will be SCC standard-compliant. The development offers significant highway improvements works, including making changes to the junction with Pound Hill to improve visibility in both directions, which will improve access to village amenities for vehicles, cyclists and pedestrians, a positive planning outcome.
- 5.4 Parking provision for the 51 dwellings can be readily accommodated in a policy compliant manner.
- 5.5 There is no evidence before officers to suggest adverse highway safety outcomes will result. The proposal does not conflict with Policies T9, T10 or Paragraph 32 of the NPPF.

## **6. Design and Layout**

- 6.1 Policy CS5 requires development to be of a high quality design that respects the local distinctiveness and the built heritage of Mid Suffolk, enhancing the character and appearance of the district.
- 6.2 Policy H13 of the Local Plan requires new housing development to be expected to achieve a high standard of design and layout and be of a scale and density appropriate to the site and its surroundings, whilst Policy H15 of the Local Plan similarly requires new housing to be consistent with the pattern and form of development in the area and its setting.
- 6.3 Policy GP1 of the Local Plan states that proposals comprising poor design and layout will be refused, requiring proposals to meet a number of design criteria including maintenance or enhancement of the surroundings and use of compatible materials.
- 6.4 Paragraph 56 of the NPPF attaches great importance to the design of the built environment, stating that good design is a key aspect of sustainable development.
- 6.5 Design, layout and appearance are reserved matters. Notwithstanding, it is clear that these matters, whilst shown as indicative only, have been carefully considered by the applicant. The

applicant has demonstrated, to a high degree, how the proposal represents a site responsive design. Examples include the siting of wooded open space area at the northern end of the site to mitigate the impact on the setting of the Grade II listed Turkey Hall, utilising the existing access to limit highway safety impacts, and providing a low density of development (22 dwellings per hectare) consistent with neighbouring development. A low density development, offering significant landscaping opportunity, is welcomed.

- 6.6 A third of all dwellings are bungalows, a direct response to the pre-application engagement with the local community.

## **7. Landscape Impact, Trees, Ecology, Biodiversity and Protected Species**

- 7.1 Policy CS5 of the Core Strategy seeks to protect and conserve landscape qualities taking into account the natural environment and the historical dimension of the landscape as a whole rather than concentrating solely on selected areas, protecting the District's most important components and encouraging development that is consistent with conserving its overall character.
- 7.2 Paragraph 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils.
- 7.3 The site is not in an area of special character designation such as an Area of Outstanding Natural Beauty or Special Landscape Area. Nor is the site adjoining, or in proximity to, any designated landscape areas of special significance.
- 7.4 The application site is visually well contained owing to existing boundary planting, the existence of the road to the western boundary and the body of the village to the south. The site is well related to the village given it abuts the village's settlement boundary and will therefore not appear as an isolated development in the countryside, noting the suburban appearance of the western side of Turkey Hall Lane opposite the site. The development will define a new edge to the village body, not a planning outcome that is considered fatal to the application. Harm in a landscape sense will be relatively limited provided a comprehensive landscaping theme is incorporated. A comprehensive landscape plan, including a detailed boundary treatment plan, will be required to ensure the rural landscape character is maintained and enhanced. This is most appropriately managed through the (landscaping) reserved matters stage of the development process.
- 7.6 Policy CS5 of the Core Strategy requires development to protect, manage and enhance Mid Suffolk's biodiversity.
- 7.7 Regulation 9(5) of the Conservation of Habitats and Species Regulations 2010 (Implemented 1st April 2010) requires all 'competent authorities' (public bodies) to 'have regard to the Habitats Directive in the exercise of its functions.' For a Local Planning Authority to comply with regulation 9(5) it must 'engage' with the provisions of the Habitats Directive.
- 7.8 Paragraph 118 of the NPPF requires planning authorities, when determining planning applications, to seek the conservation and enhancement of biodiversity by ensuring significant harm resulting from a development is avoided (through locating on an alternative site with less harmful impacts), or where not possible to be adequately mitigated, or, as a last resort, compensated for, and if this cannot be secured then planning permission should be refused.
- 7.9 An Ecology Report supports the application. Place Services (Ecology) raise no objection and suggested conditions are supported by officers. The proposal responds favourably to Policy CS5 of the Core Strategy and Policy CL8 of the Local Plan.



- 7.10 The application is supported by an Arboricultural Impact Assessment which has been reviewed by Council's Arboricultural Officer. The Arboricultural Officer does not raise an objection. There will be no loss of significant trees and significant landscape planting will offer enhanced local arboricultural values.

## **8. Land Contamination**

- 8.1 The application is supported by the necessary contamination assessment. Environmental Health do not raise an objection to the scheme.

## **9. Heritage Issues**

- 9.1 Policy HB1 of the Local Plan seeks to protect the character and appearance of buildings of architectural or historic interest, particularly protecting the settings of Listed Buildings.
- 9.2 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Listed Building or its setting.
- 9.3 Where policies are out of date, paragraph 14 of the NPPF says that permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole; or specific policies indicate development should be restricted. In this case there are specific NPPF policies relating to designated heritage assets that should be considered.
- 9.4 Paragraph 129 of the NPPF identifies that the impact of a proposal on the significance of a heritage asset should be taken into account, in order to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.
- 9.5 Paragraph 134 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.
- 9.6 Council's Heritage Team consider the development will cause a 'low level of less than substantial harm' to the setting of the Grade II listed Turkey Hall. The team is concerned that the immediate land around the hall will become suburbanised and this will undermine the historic characteristic of isolation regarding the hall, as the listed building would be read as within the context of the housing estate, rather than beyond one. The layout proposed is indicative and over the course of the application amended by the applicants to demonstrate the separation that can still be offered to Turkey Hall.
- 9.7 The setting of Turkey Hall will change, this is not in dispute. The applicant has designed the indicative layout in a manner that seeks to mitigate the impact on the rural setting of Turkey Hall. In particular, the proposed expanse of wooded open space has been set adjacent the listed property. This landscaped buffer will maintain a rural setting, albeit a setting that will no longer comprise an open, rural field. A landscaped setting is not considered unacceptable as it will retain, to some degree, the prevailing rural character. The hall will continue, to some extent, to read as an isolated property on the periphery of Bacton village. Moreover, it is noted that the western side of Turkey Hall Lane has already been developed up to Turkey Hall and development on the eastern side of the lane is clearly visible from around the Hall in views south across the intervening field which forms part of the application site.
- 9.8 As noted earlier in the report, the site is not in or abut a Conservation Area and there are no Conservation Areas in the village.

## **10. Impact on Residential Amenity**

- 10.1 Policy H13 of the Local Plan seeks to ensure new housing development protects the amenity of neighbouring residents. Policy H16 of the Local Plan seeks to protect the existing amenity of residential areas.
- 10.2 Paragraph 17 of the NPPF sets out a number of core planning principles as to underpin decision-taking, including, seeking to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 10.3 The indicative layout demonstrates the site is readily capable of accommodating 51 dwellings in a manner that will not result in detriment to the residential amenity of future occupiers of the development or occupiers of neighbouring dwellings. The proximity to the rail line is noted, however given the separation distance between the proposed dwellings and the line, it is not considered necessary that noise insulating construction methods are warranted. Amenity standards will be carefully scrutinised at the reserved matters stage of the approvals process.
- 10.4 It is to be noted that the proposed scheme has not attracted any objections on residential amenity grounds, such as overlooking, loss of sunlight/daylight or visual bulk effects. This is perhaps indicative of a design approach that has been carefully considered, taking account of neighbouring amenity expectations.
- 10.5 Internal amenity for future occupants will be of a sufficient standard, with all dwellings provided reasonable levels of private open space and appropriate aspect/outlook. Solar and daylight access levels are adequate, and whilst there will be a level of intervisibility between properties, appropriate privacy is afforded to each plot. Separation distances between dwellings and carefully sited garages ensures any visual bulk effects will be minimised, safeguarding future occupants' amenity.
- 10.6 Construction hours can be managed by planning condition, as recommended by Council's Environmental Health Officer, to ensure the construction phase of development is carried out in a manner that safeguards neighbouring residents' amenity.
- 10.7 The proposal accords with the aspirations of local Policies H13 and H16 and paragraph 17 of the NPPF.

## **11. Flooding and Drainage**

- 11.1 Objectors raise concerns regarding surface water run-off and flood risk. The site is located in Flood Zone 1. The application is supported by a Flood Risk Assessment (FRA). The FRA confirms that there is a localised risk of surface water flooding along the drainage ditch which crosses the site and along the ditch on the western boundary. The indicative site layout accommodates this surface water flooding with buildings located outside the surface water flood zone and that affected properties will have finished floor levels at least 150mm above ground level.
- 11.2 The Lead Flood Authority has reviewed the submitted FRA and does not raise objection subject to standard conditions. In the absence of an objection from the Lead Flood Authority a reason for refusal on flood grounds cannot be sustained.
- 11.3 An adoptable pumping station has been included within the indicative layout to address concerns raised by Anglia Water regarding foul water management. Anglian Water's suggested condition is agreed.

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## **PART FOUR – CONCLUSION**

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## **12. Planning Balance and Conclusion**

- 12.1 Council cannot demonstrate a five year housing supply. Local policies relating to the supply of housing, including Policy CS2, CS11 and CS15, must be considered not up-to-date in accordance with the NPPF.
- 12.2 Where policies cannot be considered up-to-date, the NPPF (paragraph 14) cites the presumption in favour of sustainable development and states that planning permission should be granted unless i) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF taken as a whole; or ii) specific policies in the NPPF indicate development should be restricted.
- 12.3 Officers conclude that specific policies do not indicate development should be restricted. Therefore, the proposal should proceed to be determined in accordance with the presumption in favour of sustainable development – the ‘tilted balance’ approach.
- 12.4 The NPPF advises that the environmental aspect of sustainability includes contributing to protecting and enhancing our natural, built and historic environment; economic and social gains should be sought jointly and simultaneously with environmental improvement.
- 12.5 The economic and social gains will be significant, the most notable being the boost to the housing supply and increase in much needed affordable housing stock (required revisions to the affordable mix can be secured through the s106 process). Other gains include improved traffic conditions and enhanced pedestrian and cyclist connectivity to the village (to be secured through a s278 Agreement), and recreational benefits through public open space provision, including new play space. Environmental benefits include biodiversity enhancements and landscaping providing screening and visual amenity benefits.
- 12.6 The site is a sustainable location on the edge of a key service centre. The proposed development is physically well related to the village, set adjacent the settlement boundary. Visual intrusion into the countryside will be limited given the development is set against the backdrop of the body of the village. The development will not be isolated in a visual or social sense. Landscape harm will be less than moderate. There will be harm to the setting of the Grade II listed Turkey Hall however this harm is limited and mitigated through the incorporation of a landscaped buffer and is outweighed by the significant economic, social and environmental gains identified above.
- 12.7 Highway safety outcomes are appropriately safeguarded, with the Highways Authority raising no objection. Residential amenity levels for neighbouring residents can be maintained. Amenity for future occupants will be to an acceptable standard.
- 12.8 Archaeology, ecology, tree impacts, sustainable construction methods and contamination are all matters that can be adequately managed by planning condition.
- 12.9 The proposal represents a site responsive design. The Parish Council is in support of the proposed scheme. The application is well supported by a comprehensive package of specialist reports that demonstrate how the development has been crafted in a manner that responds positively to all site constraints.
- 12.10 There are no compelling reasons to withhold the grant of outline planning permission for up to 51 dwellings. The proposal constitutes sustainable development for which the NPPF carries a presumption in favour and therefore the outline application is recommended for approval.

## **RECOMMENDATION**

- (1) Subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Corporate Manager – Planning for Growth to secure:
- Affordable Housing
  - Provision, management and maintenance of public open space
  - Offsite highway works.
- (2) That the Corporate Manager – Planning for Growth be authorised to grant Outline Planning Permission subject to conditions including:
- Standard Time Limit Condition
  - Reserved Matters to be submitted and agreed
  - Approved Plans
  - As recommend by Highways
  - As recommended by Environmental Health
  - Surface water drainage scheme to be agreed and fully implemented as approved
  - Sustainable Urban Drainage System
  - Construction surface water management plan detailing surface water and storm water
  - Foul water strategy Anglian Water
  - Sustainability efficiency measures
  - Archaeological work and monitoring
  - Details of fire hydrants to be submitted
  - The recommendations of the ecological report to be adhered to
  - Construction management plan including hours of construction
  - Detailed hard/soft and boundary landscaping to be submitted with reserved matters
  - Arboricultural Impact Assessment and Method Statement compliance
  - Implementation of landscaping scheme
  - Unexpected contamination
  - Secure mitigation and ecology enhancement measures
  - Lighting scheme – biodiversity
  - Waste vehicle manoeuvring
  - Withdrawal PD rights
- (3) That in the event of the Planning obligations referred to in Resolution (1) above not being secured that the Corporate Manager – Planning for Growth be authorised to refuse planning permission on appropriate grounds.

**MID SUFFOLK DISTRICT COUNCIL**

**PLANNING COMMITTEE B 04/08/21**

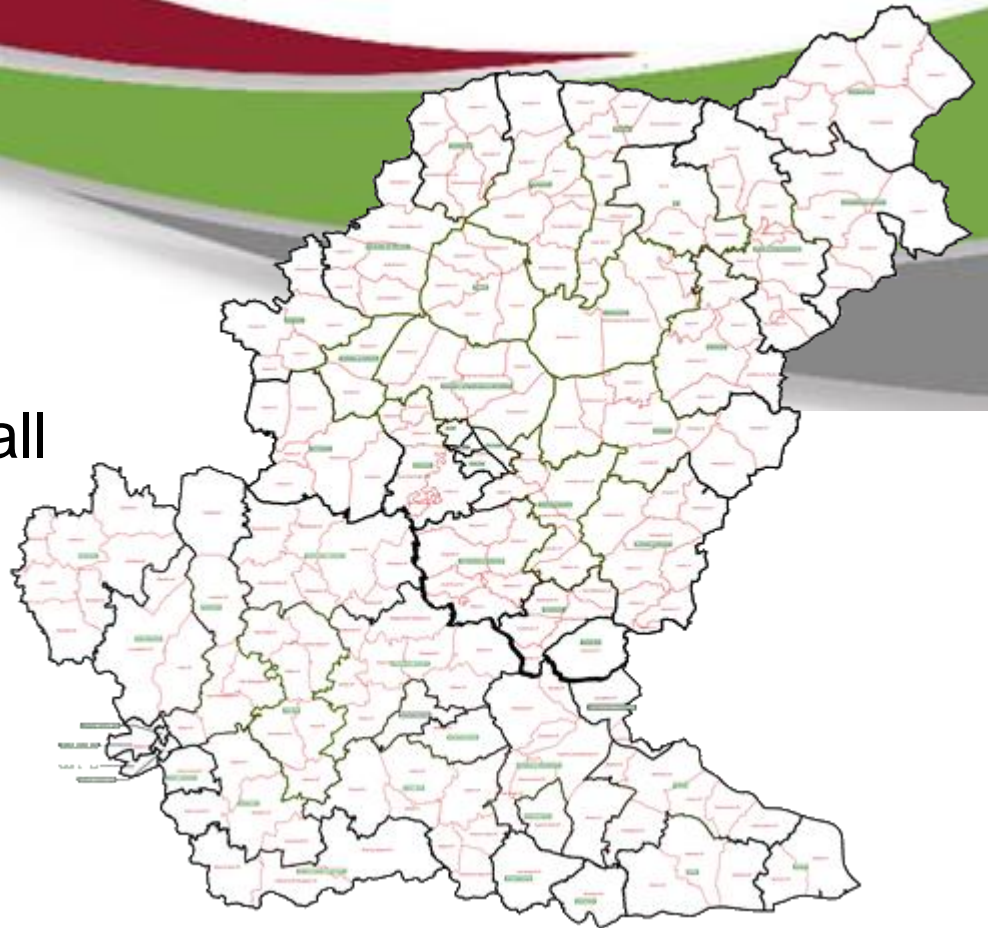
**ACTION SHEET**

<b><u>ITEM</u></b>	<b><u>REF. NO</u></b>	<b><u>LOCATION</u></b>	<b><u>Case Officer</u></b>	<b><u>MEMBER OVERTURN (Y/N)</u></b>	<b><u>ACTION</u></b>	<b><u>HYPERLINK TO PAPERS</u></b>
7a	DC/21/00641	Land to the East of Turkey Hall Lane, Bacton	ALSC	N/a	Defer to consider all matters raised in debate, design, ecology with particular regard to the apartment block to the south.	<a href="#">Report</a>
7b	DC/21/02924	Land Rear of Six Bells, church Road, Felsham	JOPA	N/a	Committee Site Visit	<a href="#">Report</a>

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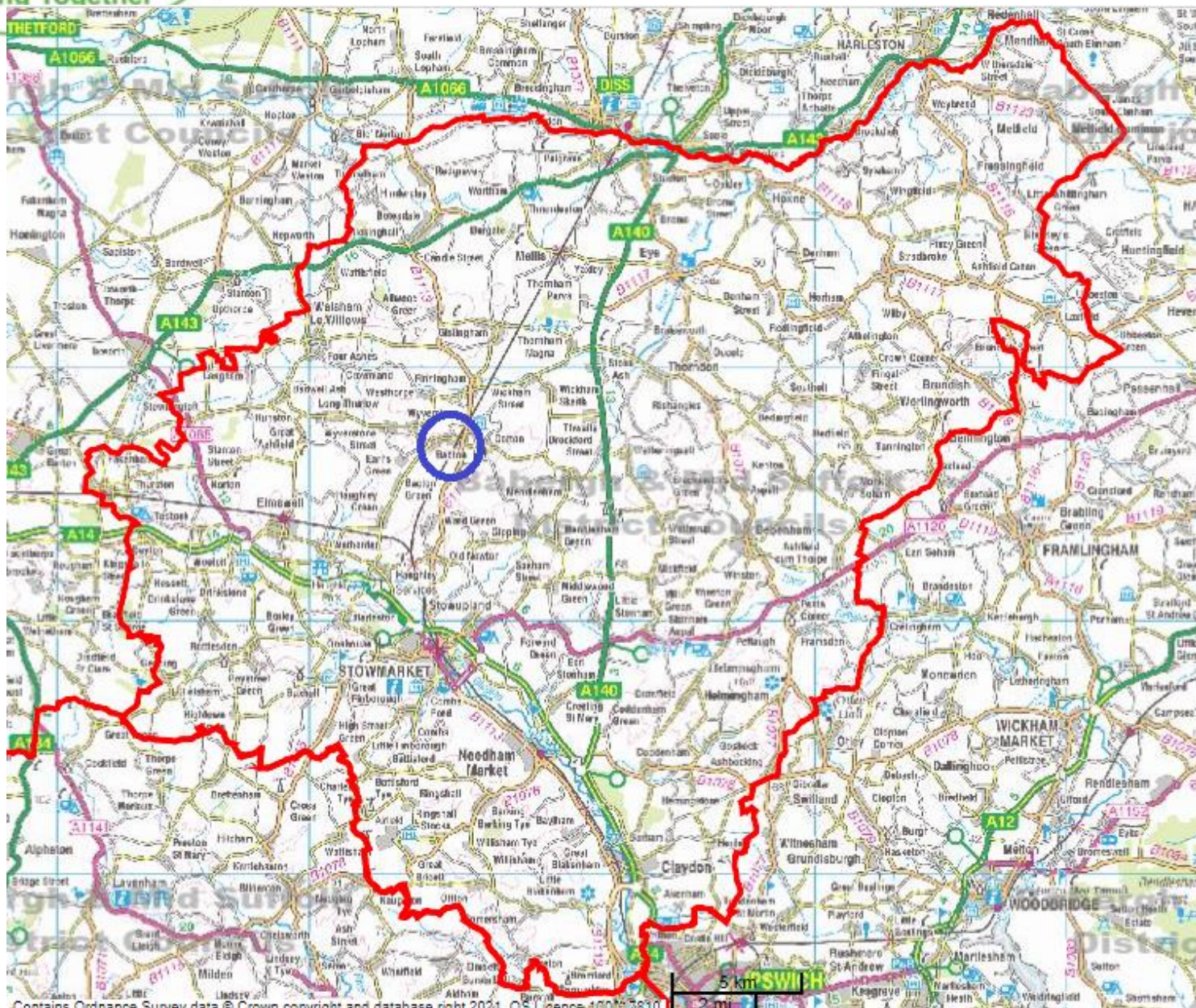
**Application No:**  
DC/21/00641

**Address:**  
Land to the East of Turkeyhall  
Lane, Bacton



# Site Location

Slide 2



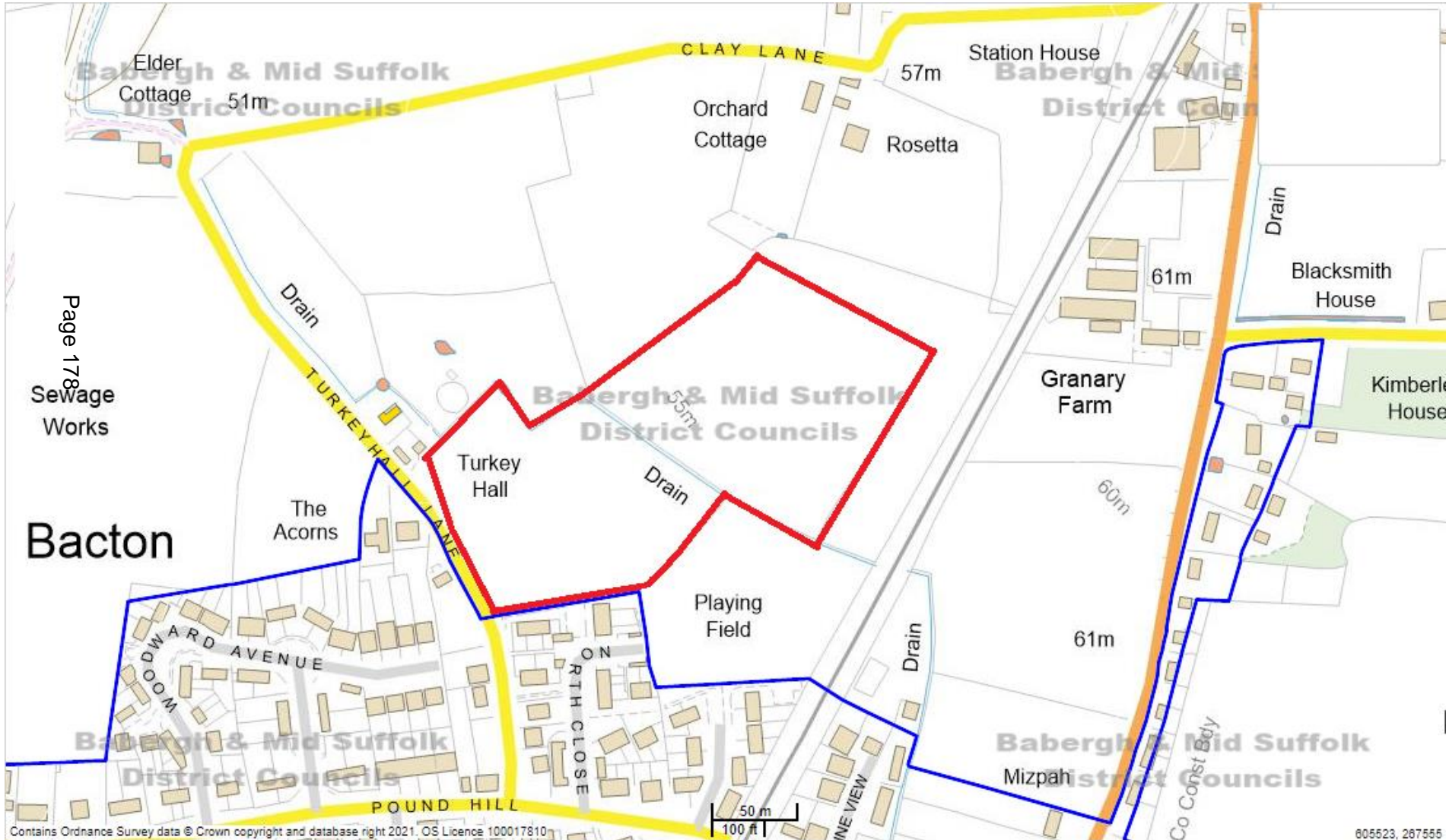


## Site Location

Slide 3



# Constraints Map



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Sewage Works

Bacton

# Aerial Map

Slide 5





# Site Location Plan









# Affordable Housing







**Plots: 1, 3, 13**  
**4 Bedroom - Detached**



**Plots: 2, 11, 12, 33**  
**4 Bedroom - Detached**



**Plots: 4, 5, 6, 14**  
**3 Bedroom - Detached**



**Plots: 9, 10, 15, 29, 31, 50, 51**  
**2 Bedroom - Bungalows**



**Plots: 16, 30, 32**  
**3 Bedroom - Bungalows**

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**Plots: 7/8, 17/18, 34/35  
3 Bedroom - Semi Detached**



**Plots: 19/20  
2 Bedroom - Semi-Detached**



**Plots: 36, 37, 38, 39  
2 Bedroom - Semi-Detached**



**Plots: 41, 46, 48**  
**2 Bedroom - Semi-detached**



**Plots: 40, 42, 47, 49**  
**2 Bedroom - Semi-detached**



**Plots: 42 and 47 - Side elevation**



**Plot: 43**  
**3 Bedroom - Semi-detached**



**Plots: 44, 45**  
**3 Bedroom - Semi-detached**



**Plots: 44 and 45 - Side elevation**



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**Plots: 23, 24, 25, 26, 27, 28**  
**1 Bedroom - Apartments**  
**(Ground and First Floor)**

**Plots: 21/22**  
**2 Bedroom - Semi-Detached**

# Dwelling Designs Lost and Gained

Lost



**3 Bedroom - Semi Detached**

Gained



**2 Bedroom - Semi-Detached**

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**1 Bedroom Apartments  
(Ground and First Floor)**

**1 Bedroom - Apartments  
(Ground and First Floor)**

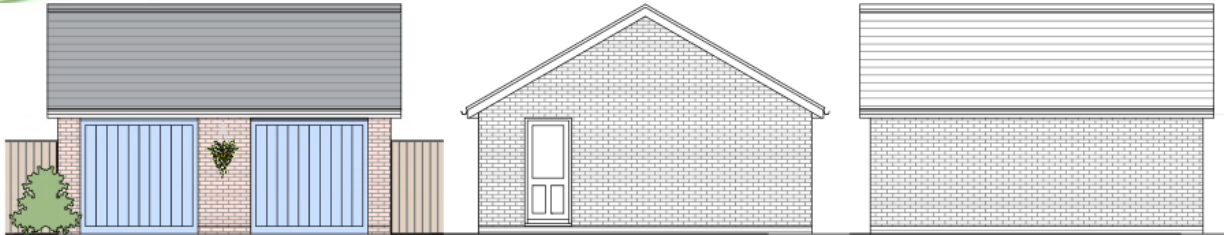


**1 Bedroom - Apartments  
(Ground and First Floor)**

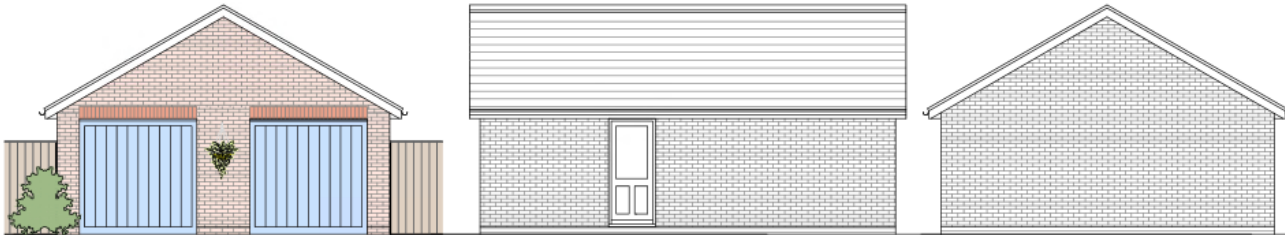


**2 Bedroom Apartments  
(2 no. on Ground Floor and 2 no. on First Floor)**

## Proposed Elevations: Garages



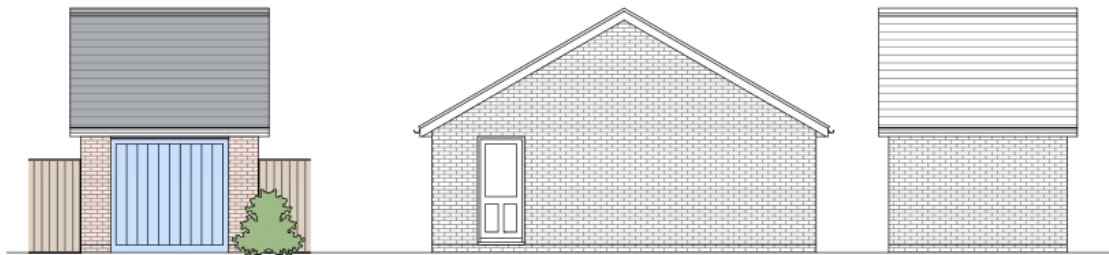
**Double / Twin - Plots: 1, 2, 6, 7, 9, 10, 11, 12, 13, 16, 30, 32, 33**



**Double - Plot: 3**

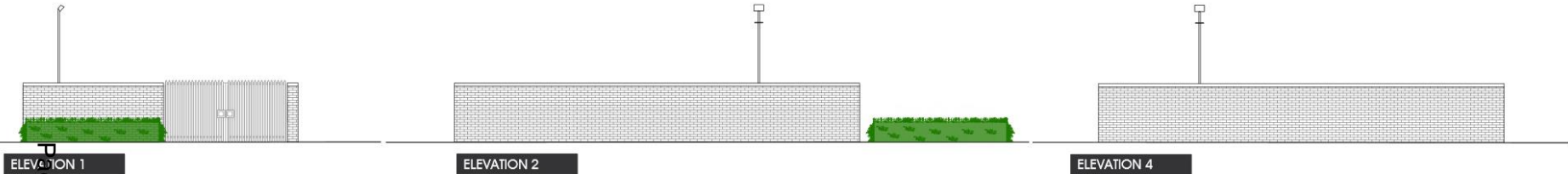


**Single - Plots: 4, 5, 8, 29, 31, 34, 35, 50, 51**



**Single - Plots: 14, 15, 17, 18**

# Proposed Elevations: Pumping Station



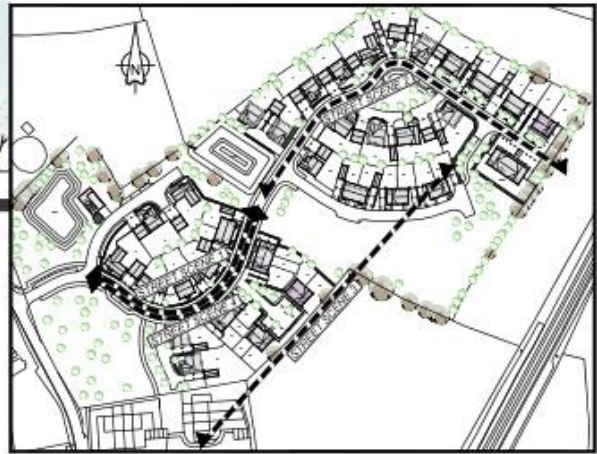
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**ELEVATION 3 - View from Turkey Hall**

Height and spread of existing trees and hedges taken from Survey Solutions drawing 14211ea-01





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## Layout Comparison – Outline – Current Reserved Matters



## Layout Comparison – Previous Reserved Matters P19 – Current Reserved Matters P20



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# Agenda Item 6b

## Officer Report

**Item No: 6B**

**Reference:** DC/21/03874

**Case Officer:** Rose Wolton

**Ward:** Haughley, Stowupland & Wetherden

**Ward Member/s:** Cllr Keith Welham and Cllr Rachel Eburne

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**RECOMMENDATION** – That the Chief Planning Officer secure amendments to eastern edge of the site and grant Planning Permission upon completion of the s.106 legal agreement.

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### Description of Development

Full Planning Application - Erection of 47 dwellings (16 affordable), together with open space, landscaping, earthworks and drainage.

### Location

Moat Meadow, Finningham Road, Old Newton, Suffolk

**Expiry Date:** 17/11/2021

**Application Type:** FUL - Full Planning Application

**Development Type:** Major Small Scale - Dwellings

**Applicant:** Keepmoat Homes Ltd

**Agent:** Miss Kate Holland

**Parish:** Old Newton With Dagworth

**Details of Previous Committee / Resolutions and any member site visit:** 1866/17 Outline Consent Approval 19/12/18

**Has a Committee Call In request been received from a Council Member (Appendix 1):** No

**Has the application been subject to Pre-Application Advice:** Yes

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## **PART ONE – REASON FOR REFERENCE TO COMMITTEE**

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N/A

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## **PART TWO – POLICIES AND CONSULTATION SUMMARY**

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### Summary of Policies

Relevant policies in the Core Strategy Focused Review 2012 and Mid-Suffolk Local Plan 1998:

CS01 - Settlement Hierarchy

CS03 - Reduce Contributions to Climate Change

CS04 - Adapting to Climate Change

CS05 - Mid Suffolk's Environment

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CLASSIFICATION: Official

CS06 - Services and Infrastructure  
CS09 - Density and Mix

FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development

GP01 - Design and layout of development  
H13 - Design and layout of housing development  
H15 - Development to reflect local characteristics  
H16 - Protecting existing residential amenity  
FC02 - Provision and Distribution of Housing  
H07 - Restricting housing development unrelated to needs of countryside  
H14 - A range of house types to meet different accommodation needs  
H17 - Keeping residential development away from pollution  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
RT04 - Amenity open space and play areas within residential development  
CL08 - Protecting wildlife habitats

Suffolk Design Guide  
Suffolk Adopted Parking Standards (2019)

National Planning Policy Framework 2021

### **Neighbourhood Plan Status**

This application site is not within a Neighbourhood Plan Area.

### **Consultations and Representations**

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

#### **A: Summary of Consultations**

##### **Town/Parish Council (Appendix 3)**

##### **Newton with Dagworth and Gipping Parish Council**

The Parish Council's original response of the design of the proposed development being bland and not in keeping with our rural village has attempted to be addressed with the colours and variety but the rooflines are still all exactly the same with no variation, the planned changes is an attempt at cosmetic changes and not embracing what Cllrs wanted for example actual differing designs with use of some dormer windows or undulation of rooflines. Something that could be considered distinctive for a village development planned for that is next to an ancient monument and grade II listed farm setting heritage site. What is proposed is still lacking in character. It is noted that the developer is addressing the need for smaller affordable properties and Councillors appreciate their attempt to address the majority of concerns raised. Cllrs would like to see some communal (pay per use) electric vehicle charging points in addition to the on-plot car parking dedicated charging points (EVP) for those properties that will not benefit from dedicated charging points. Cllrs would like to reinforce the footpath link to the centre of the village as essential. Streetlights have not been addressed in the re-consultation and are still a concern of the parish council. Overall Cllrs are pleased at the level of consideration given to comments made previously.

## **National Consultee (Appendix 4)**

### **Historic England**

We have previously provided advice on this case within our remit for the adjacent Scheduled Monument, and in relation to the impact of the proposal on the significance of this asset through development within its setting.

Our engagement with the case dates to the first planning application, where the significance of the Rook Yard Farm double moat (LEN 1451408) was identified. It subsequently became a Scheduled Monument (February 2018) and is a designated heritage asset in policy terms.

#### *Significance*

The designated asset is a rare double medieval moated enclosure and is the remnants of a high-status medieval manor. It is valued for both the preservation of medieval archaeology within the interior spaces between the moats, and for the form and layout of the moats and ditches. The designation scores highly in evidential and historic values and it is an important site for demonstrating the historical development and use of the landscape in this part of Suffolk.

Moated enclosures were an important feature of the medieval farming landscapes and are particularly a feature of the high Suffolk clayland plateau. The relationship of the moat to the landscape is a part of its significance and its setting extends across the development site, particularly as the moat bounds the north eastern part of the development area.

#### *Impact*

The development itself would not have a physical impact upon the monument; however, the red line boundary is adjacent to the monument and as set out above, is clearly within its setting.

We have previously concluded the development is likely to erode that rural context of the designated asset which would in turn result in harm to its significance. Given that considerable improvements have been made to the scheme since its first iteration we are able to confirm that the overall impact of the scheme has been reduced.

There would be a permanent change to the setting of the moat, however the resulting harm would in our view be less than substantial in policy terms.

We have also been reassured that the development would not result in changes to the local water table and therefore our concerns with regards to the possible hydrological impacts from the development upon the moat have also been reduced.

#### *Policy*

The National Planning Policy Framework sets out the desirability of sustaining and enhancing the significance of heritage assets (paragraph 199). It continues that great weight should be given to their conservation and that any harm requires clear and convincing justification, paragraphs 199 and 200. Where a proposal will lead to less than substantial harm, this should be weighed against the public benefits of the proposal, paragraph 202 and 203.

#### *Position*

We are pleased to see the revised layout plan has taken on board our previous concerns, and we note the revised design concept document, revised elevations, landscape and visual appraisal and landscape masterplan have been added to the planning application since we last commented.

The open area to the eastern end of the development and the approach to the houses that would be visible across the green space is encouraging and an approach that we support.

It would be important to ensure the houses that are visible from the entrance to the site and have those active frontages demonstrates as much as possible a sense of place.

We therefore note the comments from consultees and your conservation advisors with regards to the use of materials and design. We would recommend further consideration is taken to ensure the terms of reference are appropriate for the locally distinct vernacular style of the Suffolk claylands. In particular the choice and colour of bricks for example. We are however content to leave this matter to your in-house design and conservation advice team

We also note that the development plans and docs available do not mention street lighting and we would like to be reassured by the council that street lighting and footway lighting would not be needed in the open area at the eastern end. Lighting here would exacerbate the impact of the scheme on the setting of the moat and increase the heritage harm.

As set out above however we are of the view that the development would result in some residual harm to the significance of the monument through development within its setting. This is less than substantial in nature therefore the council in determining the application need to take regard of the policy test set out in para 202 of the NPPF.

We also support the need for further archaeological work and would encourage the council to consider offsetting heritage impacts through schemes that demonstrate positive enhancements such as interpretation.

#### Recommendation

Historic England has no objection to the application on heritage grounds. We consider that there are minor issues and safeguards outlined in our advice that need to be addressed in order for the application to meet the requirements of in particular paragraphs 202 of the NPPF.

#### **Environment Agency**

No comments.

#### **County Council Responses (Appendix 5)**

##### **Highways**

Whilst noted that the site benefits from outline permission (1866/17) and subsequently, we have no objection to the principle of the proposal, there are several matters that should be addressed or considered before the Highway Authority provides a positive response with recommended planning conditions:

##### *Footway Connection on Finningham Road*

Although it has been communicated via email that the existing electricity pole and stay will be relocated, this has not been shown on an amended drawing, or in documents within the planning submission. Therefore, we are not confident that this amendment can be guaranteed. We consider it essential as the footway will be considered a pinch point at around 1.2 metres wide in this area and vulnerable road users would not be able to pass the stay within the footway width. Please amend the relevant drawings to show the relocation of these items.

##### *Speed Limit*

It is unclear whether the applicant has accepted this requirement, that we consider essential. In order to relocate the speed limit as proposed, a Section 106 contribution of £11,500 will be required to cover the cost of the necessary legal order and the associated statutory requirements of the process.



### *Estate Road Layout*

The developer has confirmed via email that the development estate roads will remain private.

Officer comment – these matters will be addressed in the tabled papers.

### **Travel Plan Officer**

No comments.

### **Archaeology**

This site lies in an area of archaeological potential recorded on the County Historic Environment Record (HER). The proposed development area is situated immediately south of a scheduled medieval moated site (HER ref no. ONW 001; Historic England list no. 1451408) and to the north of Cross Green (ONW 064). As a result, there is high potential for encountering archaeological remains at this location and the proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit and below ground heritage assets that exist. Due to the proposed developments proximity to Rookyard Farm Moats a scheduled ancient monument, Historic England and Mid Suffolk's Heritage Team should be consulted regarding the impacts of the proposal on the setting of the scheduled moated site. There are no grounds to consider refusal of permission in order to achieve preservation in situ of any important below ground heritage assets. However, in accordance with the National Planning Policy Framework (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed. In this case two conditions would be appropriate.

### **Flood and Water**

Approve subject to conditions.

### **Development Contributions**

<b>CIL</b>	<b>Education</b>	<b>Capital Contribution</b>
	- Primary expansion	£207,216
	- Secondary expansion	£213,975
	- Sixth form expansion	£47,550
<b>CIL</b>	Early years expansion	£86,340
<b>CIL</b>	Libraries improvements	£10,152
<b>CIL</b>	Waste	£5,311
<b>S106</b>	Highways	Tbc

### **Internal Consultee Responses (Appendix 6)**

#### **Place Services – Heritage**

Since my previous comments (dated 19th August), revised drawings have been submitted. It has been established in the heritage statement and the assessment of the impact of the site by Historic England and the Local Authority that the development would result in a level of less than substantial harm to the Rookyard Farm site. Two suggested areas were identified in my previous response, where it would be possible to mitigate this level of harm to some degree.

The first was the single access route through the open green space to the east of the proposed development which is intended as the sole vehicular site access, via Finningham Road. No amendments have been made to this aspect. However, the current layout scheme is an overall improvement on the earlier, more urban designs where development extended to the eastern end of the site. I accept there are likely to be reasons for not introducing a second vehicular access at the western end of the site. Yet the submission of further details of lighting, surface treatments and any proposed bollards in this open eastern area would be beneficial.

A second suggested area for mitigation was the design and materials of the dwellings. A minimum of improvement has been introduced in the revised scheme, with the referencing of buildings, architecture and materials found in Old Newton, to a very limited degree. Yet the design scheme for the dwellings still retains a uniformity and the full use of high-quality, natural materials, details and finishes previously recommended has still not been achieved. The overall character and appearance of the dwellings is repetitive and monotonous. I still recommend far more diversity in the design of the dwellings and greater variation in the house types, to ensure the development makes a positive contribution to local character and distinctiveness (as required in Paragraph 197c of the NPPF) and that it fully draws on the contribution made by the historic environment to the character of place (as required in Paragraph 190d of the NPPF).

### **Strategic Housing**

A change to the affordable housing mix is requested, to include a small number of 1- bed units to meet affordable housing needs.

Mid Suffolk policy is for relevant development to provide 35% affordable housing. For a development of 47 units, this equates to 16.45 affordable units, which is reflected in the applicant's proposals, with the Planning Statement indicating 16 affordable homes on site plus a commuted sum to make up the difference. The residual 0.45 of a unit should be provided via a commuted sum. This equates to £34,171.

The distribution of the affordable housing is acceptable. The Planning Statement commits to tenure-blind design and, with the Site Plan (house types and tenures) showing that the affordable housing is drawn from the same range of dwelling types as the market homes. This is welcomed, as is the commitment to meeting part M4(2) of the Building Regulations.

### **Environmental Health (noise/odour/light/smoke)**

Construction activities have the potential to cause a loss of amenity during the works. I therefore request conditions.

### **Environmental Health Sustainability**

While the Energy and Sustainability Statement (ESS) addressed most of the conditions identified in my original comment there are two exceptions that still need to be addressed:

- Agreement of provisions to ensure no more than 105 litres per person per day is used – The ESS has projected use of 105.9 l/p/d
- An electric car charging point per dwelling.

The scheme shall include a clear timetable for the implementation of the measures in relation to the first occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed and thereafter maintained.

### **Environmental Health Land Contamination**

No objection.

### **Environmental Health Air Quality**

I can confirm that the scale of development, at 47 dwellings, is not likely to be of a scale of that would compromise the existing good air quality at, and around the development site. When assessing the impacts

of developments we give regard to the existing air quality at the site as provided by DEFRA background concentrations and also the number of likely vehicle movements. DEFRA and the Institute of Air Quality Management provide benchmarks of the scale of development that may start to cause a deterioration of air quality that requires further assessment. IAQM indicate that concerns may start to occur on developments which generate 500 vehicle movements a day – this development falls short of this threshold and as such further investigation is not warranted.

### **Public Realm**

No objections.

### **Place Services Ecology**

We have reviewed the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021), the Ecology update (Geosphere Environmental Ltd, July 2021), the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021), The Biodiversity Net Gain Calculations (Geosphere Environmental Ltd, September 2021) and the Impact Assessment and Conservation Payment Certificate for Great Crested Newt, supplied by the applicant, relating to the likely impacts of development on designated sites, protected and Priority species & habitats.

We have also reassessed the Preliminary Ecological Appraisal (Geosphere Environmental Ltd, June 2016); Breeding Bird Survey (Geosphere Environmental Ltd, May 2018); Great Crested Newt Habitat Suitability Index Assessment (Geosphere Environmental Ltd, May 2018); Reptile Survey and Outline Mitigation Strategy (Geosphere Environmental Ltd, June 2018); and Bat Activity Survey (Geosphere Environmental Ltd, July 2018) supplied by the developer for the previously consented application.

The mitigation measures identified in the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021) and the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021) should be secured and implemented in full. This is necessary to conserve Protected and Priority Species.

It is highlighted that we note that the applicant intends to proceed under the District Level Licencing Scheme for Great Crested Newt and that an Impact Assessment and Conservation Payment Certificate countersigned by Natural England has been provided to the LPA. As a result, subject to this site being registered under a site licence, we are satisfied the proposal will comply with the requirements of the Conservation of Habitats and Species Regulations 2017 (As amended). However, a copy of the site licence registration should be secured as a condition of any consent and provided to the LPA prior to commencement.

We also recommend that a Wildlife Friendly Lighting Strategy is implemented for this application. Therefore, technical specification should be submitted prior to occupation, which demonstrates measures to avoid lighting impacts to foraging / commuting bats, which are likely present within the local area. This should summarise the following measures will be implemented:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Warm White lights should be used at <3000k. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- The provision of motion sensors or timers to avoid the amount of 'lit-time' of the proposed lighting.
- Lights should be designed to prevent horizontal spill e.g. cowls, hoods, reflector skirts or shields.

In addition, we have reviewed the Biodiversity Net Gain Calculations (Geosphere Environmental Ltd, September 2021) and can see that the development can secure measurable net gains for biodiversity, as outlined under Paragraph 174d and 180d of the National Planning Policy Framework 2021. The report outlines that a 3.12% increase in habitat units and a 75% increase of hedgerow units will be gained from the proposals. However, we do note that that Defra Biodiversity Metric Calculations indicate that the trading

rules are not satisfied for the replacement of habitat with medium distinctiveness (-0.54). This is primarily due to the loss of bramble scrub habitat within the site, which typically requires 'the same broad habitat or a higher distinctiveness habitat' to meet the trading conditions. Therefore, whilst we are pleased that measurable net gains for biodiversity can be achieved in principle, we encourage the developer to also satisfy the Biodiversity Net Gain trading (Rule 3 of the Biodiversity Metrics 3.0) for this application.

Furthermore, it is indicated that we support the bespoke ecological enhancement measures outline within the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021). The finalised measures should be outlined within the Landscape and Ecological Management Plan and should preferably also demonstrate Hedgehog friendly fencing throughout the site.

### **Place Services Landscape**

Further to our previous letter a Landscape and Visual Assessment (LVA) has been produced, however it is missing the accompanying plans and details in Appendix A-C and Figures 1-7. The written portion does provide details of the identified constraints and proposed mitigation measures and concluded that the visual impact will be limited to the immediate vicinity and the proposed landscape scheme will be sufficient to mitigate any adverse impact. No changes in the proposed scheme layout have been noted in Revision D of the Landscape Masterplan following the LVA.

While we are satisfied that the site constraints have been considered we recommend that the missing sections be submitted prior to determination so that the LPA can be assured that impact has been fully identified and mitigated. With regard to the landscape design of the proposed scheme there is currently insufficient information for a comprehensive response.

We recommend that the landscape scheme submission should include:

- A Landscape masterplan showing areas of planting, hard landscape, physical and visual connection points with the wider landscape and any constraints such as easements, ecological offsets or corridors, changes to levels (contours or spot levels) etc.
- A soft landscape scheme including:
  - plan(s) showing the location and quantity of all plant materials (drawn to a scale of not less than 1:200)
  - a schedule of species, size, density and spacing of all trees, shrubs and hedgerows to be planted and details of areas to be grass, seeded or turfed including cultivation and other operations associated with establishment.
- A hard landscape scheme including plan(s) showing the location of
  - hard or otherwise paved surfaces, including the extent and specification for footways and kerbing, together with the type and specification of all permeable paving and asphalt surfaces (drawn to a scale of not less than 1:200)
  - all means of enclosure and all boundary treatments between individual plots, all boundary treatments around the perimeter of the site and all boundaries adjacent to the service road.
  - play equipment details and where necessary RoSPA approval of bespoke features.
- A SuDS scheme including plans showing contours, sections through the features and details of all soft and hard engineered elements such as inlets and outlets.

A Landscape Masterplan, Boundary Plan and some SuDS details have been submitted, below are our observations and recommendations:

- The key on the Illustrative Masterplan doesn't seem to fully correlate with the plan, we have assumed that the transplanted oak trees are those shown towards the eastern boundary within the native shrub planting. The current spacings indicated are too close and would create too much competition between the trees. Meaning that they are unlikely to reach their full potential for visual or ecological amenity. We recommend that the spacings be reviewed to take account of the mature size and spread of the species.
- Revision A of the Site Plan shows an Electricity Substation located adjacent to the access road north of plot 44 but is

not shown on the submitted Landscape Masterplan. This is a visually prominent location when accessing the site by road or using the eastern POS and therefore should receive adequate screening.

- The use of parking courts should be avoided where at all possible. Where alternatives cannot be found they should be designed with security and safety in mind. Currently the parking courts have no active frontage.
- The boundary plan shows plot boundaries adjoining the parking courts as timber fenced. We would recommend that either significant planting is introduced or these are specified as 1.8m high walls.
- There are several private gardens which look to be small. We would recommend that gardens should be a minimum of 50sqm for a 2 bedroom dwelling.
- Table 1 Suggested Tree species found in the LVA lists *Prunus padus*, we would recommend that this species be removed from the planting mix and recommend that it be substituted with *Prunus avium*.
- We welcome the integration of SuDS on site. Typical sections and details have been provided for the SuDS features, though the design of the inlet and outlet and planting were not provided. Given the rural setting a standard approach of precast concrete and galvanised handrail for inlets/outlets should be avoided. To improve biodiversity the attenuation area should be combined with a range of vegetation types such as wildflowers and other nectar rich plants, grasses of various heights, drought tolerant species as well as marginal aquatics and wet grassland. Trees and shrubs can also be used where appropriate.
- The central attenuation areas is an engineered approach which may be better relocated to beneath one of the hard paved areas. This would then allow for additional planting or other amenity use to be provided year-round on the area and possible future development of the amenity offer on site.
- The slope of the western attenuation basin is identified as 1:4 which would not require the installation of a knee rail, as shown on the boundary plan and section.
- We would suggest that the inclusion of street trees be explored more fully to meet the recommendations set out in NPPF paragraph 131.
- A retaining wall is indicated on the Boundary Plan, though no details of proposed levels have been provided for this feature or the wider site.
- A flowering lawn mix should be used in place of amenity grass for areas within the public realm. Flowering lawns provide visual interest, improve biodiversity value, establish quickly and are easy to maintain long-term.
- Subject to ecological recommendations we suggest the below as an appropriate species mix for the site boundary: - 60% Hawthorn (*Crataegus monogyna*) - 20% Field maple (*Acer campestre*) - 10% Hazel (*Corylus Avellana*) - 5% Trees (wild cherry, oak or hornbeam) - 5% made of holly, spindle, crab apple, dogwood, blackthorn and guelder rose (only a few % each IF they are present in the locality).

A Landscape and Ecological Management Plan was included within the submission. It provides a good level of detail on design intention and the general management and maintenance of the landscape scheme, however we believe it would benefit from:

- A single maintenance task table which explains the maintenance duties across the site in both chronological and systematic order.
- Drawings showing:
  - The extent of the LMP; i.e. only showing the areas to which the LMP applies, areas of private ownership should be excluded
  - Where appropriate plans showing successional years of cutting ie 3 or 5 year rotations for meadow grass, marginal planting and thickets.

Notwithstanding the above recommendations, if minded for approval we suggest that the soft and hard landscape details are secured with an appropriate condition.

Officer comment – this matter is under discussion and will be left to condition.

**Arboricultural Officer**

I have no objection to this application subject to it being undertaken in accordance with the measures outlined in the accompanying arboricultural report, an appropriate condition should be used for this purpose. Although a number of trees are proposed for removal this is on account of their poor condition and not in order to enable development.

### **Waste Services**

No objection subject to conditions.

### **Other**

#### **East Suffolk Inland Drainage Board**

I note that the applicant intends to discharge surface water to a watercourse within the watershed catchment of the Board's IDD. I'm pleased to see that this discharge is facilitated in line with the NonStatutory technical standards for sustainable drainage systems (SuDS), specifically S2 and S4. We recommend that the discharge from this site is attenuated to the Greenfield Runoff Rates wherever possible

#### **Anglian Water**

The foul drainage from this development is in the catchment of Old Newton Water Recycling Centre that will have available capacity for these flows.

#### **Mid Suffolk Disability Forum**

We would like to see a commitment to ensuring that all dwellings will meet Part M4 of the Building Regulations. All dwellings should be visitable and meet Part M4(1), and 50% of the dwellings should meet the 'accessible and adaptable' standard Part M4(2).

It is disappointing to note that there are no dwellings that meet the needs of people with mobility problems as there appear to be none with ground floor bedrooms. The statement that bungalows are 'land hungry' demonstrates a lack of consideration towards people who are wheelchair users or have mobility problems.

Every effort should be made to ensure all footpaths are wide enough for wheelchair users, with a minimum width of 1500mm, and that any dropped kerbs within the development are absolutely level with roads for ease of access.

Surfaces should be firm, durable and level. No loose gravel, cobbles or uneven setts should be used.

#### **The Garden Trust**

Further to our original response to an outline planning application for 56 houses on the above site in 2016 and a subsequent letter on 14th March 2018, we have been made aware of the above new application with a slightly reduced number of houses, by a local resident. Since our original correspondence, the moats have been listed as a Scheduled Ancient Monument which adds an even greater level of significance to an important historical site. Any building in the setting of this heritage asset and that of the Grade II listed Rookyard Farm, will have a very detrimental effect upon the setting and views back from and to the moat. The setting of the two heritage assets have always been extremely rural and this will be irretrievably altered by development.

We are glad to see that at least the proposing housing has been moved to the western side of the application site, leaving an area of open space to the south of the moats and most immediately sensitive area of heritage significance. We would however have expected to find a detailed Visual Impact Assessment (VIA) to accompany this application. The Planning Statement does contain some paragraphs (5.11-5.17) pertaining to this, but a VIA with view-points taken to and from within the setting of the SAM and Rookyard Farm, with wire frames indicating how visible the new housing would be, would have been extremely helpful to your officers when deciding this application.

Para 3.4 describes the materials to be used for the housing and Para 5.13 states that : 'There is no overriding character to the local area that would be determinative to the design of the development proposals. As such the materials proposed draw reference from the local area.' We concur with the comments contained in Old Newton with Dagworth & Gipping Parish Council's report of 28th July : 'Cllrs believe that the designs of the proposed properties appear bland and non-interesting and not distinctive for a village development planned for that is next to an ancient monument and grade II listed farm setting heritage site. What is proposed is lacking in character and definitely not in keeping with our village or its historical feel.' We would urge your officers to ensure that for development in such an important setting, enormous care is taken to make sure that if approved, the design of the detailed scheme is the best it could possibly be to mitigate at least some of the harm. Your officers will be better placed than the GT to suggest more suitable specific materials and we feel sure that you will be able to call on appropriate expertise to ensure that this aspect is properly attended to.

## **B: Representations**

At the time of writing this report at least eight online comments have been received. It is the officer opinion that this represents two objections and six general comments. A verbal update shall be provided as necessary.

Views are summarised below:

- The proposal should revert back to the original 21 affordable homes rather than the 16 now proposed
- Pedestrian/cycle path access to Silver Street should be bollarded
- Hedge should be reinstated to the field access to the site next to 20 Silver Street
- Hedge on Silver Street frontage should be retained as much as possible
- Boundary fence needs to run the full length of the development and not stop at 16 Falconer Avenue. It should run past the car court opposite 14 Falconer Avenue and down to the open green space at number 4 Falconer Avenue
- Omit lighting to open space to protect rural character and setting of the scheduled monument - moats at Rookyard Farm
- Open space not to be used for play equipment
- Rendered finishing rather than brick would enhance development and better preserve setting of the scheduled monument - moats at Rookyard Farm
- Trees on the Finningham Road boundary to be kept intact.
- Developer is to be aware hedgerow fences along the rear gardens of Falconer Avenue are set one metre within the property boundary to allow access for hedge and property maintenance.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

## **PLANNING HISTORY**

**REF:** 1866/17

Outline planning application with Access, Landscaping and Layout to be considered for the erection of up to 56 dwellings with vehicular access from Finningham Road, Old Newton. Appearance and Scale to be the subject of a Reserved Matters application

**DECISION:** GTD  
28.10.2019

**REF:** 3814/16                      Application for Outline Planning Permission dealing with Access, Landscaping and Layout, (Appearance & Scale to be the subject of a Reserved Matters application) for the construction of 59 dwellings with vehicular accesses from Finningham Road and Silver Street, Old Newton                      **DECISION:** WDN 18.04.2017

**REF:** 2828/15                      Pre app submission for Rural Exception Scheme on Finningham Road.                      **DECISION:** REC

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## **PART THREE – ASSESSMENT OF APPLICATION**

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### **1.0    The Site and Surroundings**

- 1.1.    The 2.5ha site is at the northern end of Old Newton, a designated Primary Village approximately 3km north of Stowmarket. The subject land is behind and to the north of residential properties fronting Falconer Avenue. It extends between Silver Street to the west and Finningham Road (B1113) to the east, with frontages to both. Formerly two fields, it is now one and is known as 'The Field'.
- 1.2.    There is a boundary hedge to the north of the site and agricultural fields beyond this and a small wooded area on the opposite side of Finningham Road.
- 1.3.    To the north east of the site is Rookyard Farm, occupied by a Grade II listed building. The land within the curtilage of Rookyard Farm includes a double moat which is designated as a Scheduled Ancient Monument.
- 1.4.    The trees along the boundary at the Finningham Road frontage are covered by a tree preservation order (MS07/A1 and A2).

### **2.0    The Proposal**

- 2.1.    Outline permission 1866/17 was granted in 2019 for a 47 dwelling development. The outline consent included approval of the layout, landscaping and access.
- 2.2.    The current application is made in full and has been made in this way, rather than by way of reserved matters applications, owing to proposed layout changes that alter the housing mix and to accommodate the housing developer's particular housing proposals.
- 2.3.    The application generally accords with the development principles approved as part of the outline consent, with the proposed layout generally aligning with the indicative layout plan (01 Rev G) that supported the outline application.
- 2.4.    Key design elements are as follows:
  - A mix of market (31) and affordable (16) dwellings.



- Housing mix: 7 x 2 bed 3 person 2 storey semi and terraced houses; 16 x 2 bed 4 person 2 storey semi and terraced houses; 19 x 3 bed 4 person 2 storey semi and terraced houses; 1 x 3 bed 5 person 2 storey detached house; 4 x 4 bed 6 person 2 storey semi-detached houses;
- Affordable dwellings - 75% affordable rent and 25% shared ownership; 62.5% 2-bedroom, 4-person units; and 37.5% 3-bedroom, 4 person units;
- Two storey dwellings formed in either semi-detached pairs or short terraces;
- External finishing materials comprising orange/red multi tone brickwork and brown roof tiles, white uPVC joinery;
- On-site vehicle parking predominantly on hardstand areas to side of dwellings and parking courts to rear;
- 12 visitor spaces (0.25 ratio);
- Cycle storage is provided on each plot;
- Vehicular access from Finningham Road to the east;
- Pedestrian access onto Silver Street to the west and a potential connection to Falconer Avenue to the south up to the site boundary;
- The provision of a large area of open space (wildflower meadow) to the eastern side including footpaths linking onto Finningham Road;
- Dwellings fronting onto the eastern open space with courtyard parking behind to respect the setting of the Scheduled Ancient Monument to the north;
- Attenuation basin at the western end fronting Silver Street and a second basin central to the site adjacent the northern boundary;
- Landscaping – 3m wild grassland strip to northern boundary, close boarded timber fencing to side and rear boundaries;
- Retention of vegetation to Finningham Road and Silver Street frontages with proposed supplementary native tree planting.

### **3.0 The Principle of Development**

- 3.1. The principle of developing the site for residential purposes has been established by the grant of outline permission 1866/17 in 2019. On this basis it is not necessary to assess in any detail the sustainability credentials of the subject location. The outline approval has deemed the site's location to be one suitable for residential development at the density proposed.
- 3.2. It has been well-established by the Inspectorate that where there is an absence of an adopted neighbourhood plan, as is the case in this instance, the relevant policies in the development plan most important for determining the application are considered out-of-date. As a result, the default position at NPPF paragraph 11d engages, that is, approving development unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits.
- 3.3. In this policy context, the key issues for determination are:
- a) The impact of the design and layout of the development on the character and appearance of the area;
  - b) The impact of the development on local landscape character;
  - c) The impact of the development on heritage character, including the setting of the nearby Scheduled Ancient Monument and the Grade II listed Rookyard Farm;
  - d) The impact of the development on the amenity of neighbouring residents;
  - e) The impact of the development on highway safety including adequacy of on-site vehicle/cycle parking provision and pedestrian connectivity;
  - f) The proposed level of affordable housing provision and proposed housing mix;
  - g) The impact of the development on local biodiversity values.

#### **4.0 Design and Layout**

- 4.1. NPPF paragraph 130(c) states that planning decisions should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting. NPPF paragraph 197 states that local authorities should take account of the desirability of new development making a positive contribution to local character and distinctiveness.
- 4.2. Local Plan Policy GP01 calls for proposals to, amongst other matters, maintain and enhance the character and appearance of their surroundings. Local Plan Policy H13 expects a high standard of design and layout for housing developments. Local Plan Policy H14 encourages a variety of house types and designs to cater for different accommodation needs, and to avoid undue uniformity.
- 4.3. The proposed housing would have a linear character that would echo the grain of the development pattern in the village. The overall development layout is therefore supported, consistent with local distinctiveness.
- 4.4. The Parish Council and the Heritage Officer raise concern regarding the design and materials of the dwellings. The Heritage Officer considers that the referencing of buildings, architecture and materials found in Old Newton has only been achieved to a very limited degree. The Heritage Officer considers the built form outcome, appearing somewhat repetitive, could be significantly improved with higher quality, natural materials, and an increase in design diversity with greater variation in house types.
- 4.5. Whilst the limited variation and diversity in the design of the dwellings has been cited, it is worth noting that the prevailing character of this area of Old Newton is modern, with many gault brick bungalows. There is also a smaller amount of two-storey red brick of a higher quality. The proposed scheme belongs in this higher bracket.
- 4.6. The houses closest to the moat also feature design tweaks with contrasting corner bricks, a string course, porches and finials, all of which are considered to contribute positively to the local character.

#### **5.0 Landscape Character**

- 5.1. Policy CS5 of the Core Strategy seeks to protect and conserve landscape qualities taking into account the natural environment and the historical dimension of the landscape as a whole rather than concentrating solely on selected areas, protecting the District's most important components and encouraging development that is consistent with conserving its overall character. Policy CS5 requires development to be of a high-quality design that respects the local distinctiveness and the built heritage of Mid Suffolk, enhancing the character and appearance of the district.
- 5.2. The site is not in an area of special character designation such as an Area of Outstanding Natural Beauty or Special Landscape Area. Nor is the site adjoining, or in proximity to, any designated landscape areas of special significance.
- 5.3. The application is supported by a Landscape Masterplan, Boundary Plan and SuDS details, all of which has been reviewed by the landscape consultant. The general theme to the proposed landscaping initiatives are supported. The landscaping will, in the main, provide for a relatively verdant landscape, one that will enhance the northern edge of the village. The proposed 3m wide wild grassland strip to the northern boundary is a welcome landscape response, as is the provision of a large area of open space to the eastern end of the site adjacent Finningham Road, the SuDS

drainage features within the main developed area, and the varied paving surface treatments (block paving, concrete slabs etc).

- 5.4. The landscape planting will soften the built form impact, provide for a less urban feel, and relate positively to the adjacent designated heritage assets. The landscape consultant suggests a number of minor changes to the landscape scheme as submitted. None of the suggested changes are fundamental to the overall design concept and can be readily secured by a planning condition that seeks an amended landscape scheme. Matters such as the incorporation of street trees (to accord with NPPF paragraph 131), screening of the electricity substation, and a flowering lawn mix for public grassed areas are all important landscape design elements that must be addressed to ensure a positive landscape response is delivered. These matters can be addressed via a revised landscape scheme condition.
- 5.5. The proposal requires the removal of a small number of trees, of note is the loss of some at the Finningham Road frontage in order to facilitate the development of the main vehicle access into the site. Although these trees are protected by a tree preservation order, the arboricultural officer considers the proposed extent of tree removal acceptable on account of their poor condition. Any visual amenity harm resulting from the proposed tree removal is therefore considered very low. It must also be noted that landscape harm in this respect will be offset to some degree by the proposed landscape planting scheme, with proposed supplementary native tree planting to the Finningham Road and Silver Street frontages. The outcome at these frontages is an enhancement of landscape character and local distinctiveness.
- 5.6. A s106 agreement is recommended to secure the long-term management of all proposed public open space areas. This document would be read in conjunction with the supporting Landscape and Ecological Management Plan, which itself requires some refinement before being able to be approved. These requirements can be achieved via planning conditions.
- 5.7. Adverse landscape character impacts generated by the development will be minor.

## **6.0 Heritage Character**

- 6.1. Policy HB1 of the Local Plan seeks to protect the character and appearance of buildings of architectural or historic interest, particularly protecting the settings of Listed Buildings. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a listed building or its setting.
- 6.2. The key heritage character issue is the impact of the development on the two adjacent northern designated heritage assets, those being the Grade II listed building at Rookyard Farm and the double moat, designated as a Scheduled Ancient Monument, in the curtilage of Rookyard Farm. Historic England, the Heritage Officer and the Garden Trust all observe that the current layout is an overall improvement on the earlier, more urban designs where development extended to the eastern end of the site. The current scheme omits housing at the eastern end, with the provision of an open green space deliberately incorporated in the most immediately sensitive area of heritage significance, thereby preserving the setting of both designated assets. Any heritage character harm is considered to be of a low level, of less than substantial and this is largely due to the current wider rural aspect of Rookyard Farm being altered with the introduction of a built form.
- 6.3. Where a proposal will lead to less than substantial harm, this should be weighed against the public benefits of the proposal, in accordance with paragraph 202 and 203 of the NPPF. The scheme offers considerable social and economic benefits owing principally to its scale. In social terms there

are positives, principally through the provision of 16 affordable units. In economic terms 47 dwellings will provide not insignificant local employment opportunities and generate considerable local spend throughout the construction phase as well as in the longer term by the occupants of the development. The public benefits outweigh the identified heritage harm which is, as noted above, of a low level.

- 6.4. SCC Archaeology note there is high potential for encountering archaeological remains at the subject location and the proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit and below ground heritage assets that exist. The Authority recommend standard archaeology conditions of consent that are supported.
- 6.5. Officers conclude that the development will have a low adverse heritage impact. Conflict with Local Plan Policy HB1 will be limited.
- 6.6 That said, and whilst acknowledging that the scheme has been improved at the eastern end in the setting of the moat, Officers are keen to negotiate a further uplift in design and ask for this matter to be delegated to them following this informal meeting.

## **7.0 Residential Amenity**

- 7.1. The NPPF sets out a number of core planning principles as to underpin decision taking, including, seeking to secure a good standard of amenity for all existing and future occupants of land and buildings. Policy H13 of the Local Plan seeks to ensure new housing development protects the amenity of neighbouring residents. Policy H16 of the Local Plan seeks to protect the existing amenity of residential areas.
- 7.2. The northern interface is not a sensitive amenity location given the adjacent open field. Although the dwellings are double storey and therefore have the potential to overlook neighbouring residential plots, all dwellings with a relationship to the southern neighbouring plots are well set back from the southern boundary. The generous rear setbacks of the dwellings ensures that the development will not result in an unacceptable loss of privacy for neighbouring residents. For the same reason, daylight/sunlight accessibility for neighbouring residents is maintained, and there will not be adverse visual bulk effects.
- 7.3. Conditions are recommended to ensure impacts on the amenities of neighbouring residents during the construction phase of the development are adequately controlled, including restrictions relating to construction hours, construction vehicle parking, on-site burning and dust control. As is standard for a development of this scale, a construction management plan is required by condition.
- 7.4. Having regard to the above assessment, it is concluded that the development will not result in adverse amenity impacts.

## **8.0 Site Access, Parking and Highway Safety**

- 8.1. Local Plan Policy T10 requires the consideration of a number of highway matters when determining planning applications, including; the provision of safe access, the safe and free flow of traffic and pedestrian safety, safe capacity of the road network and the provision of adequate parking and turning for vehicles. Policy T10 is a general transport policy which is generally consistent with Section 9 of the NPPF on promoting sustainable transport, and therefore is afforded considerable weight.

- 8.2. The Highways Authority accepts the principle of the creation of a new vehicle access on Finningham Road. There is nothing to suggest in their referral response that Finningham Road does not have the capacity to cater for the anticipated increase in traffic volumes that will result from the development. A relocation of the speed limit on Finningham Road is however required to ensure an acceptable highway safety outcome, and the Authority advises that a monetary contribution from the applicant of £11,500 is necessary. This financial requirement can be secured as part of the approval decision.
- 8.3. The proposed quantum of on-site parking for residents of the dwellings, as well as visitors to the development, is acceptable. The two and three bedroom houses have two allocated spaces, the four bedroom houses have three, in accordance with Suffolk Guidance for Parking 2019. The dimensions of the parking spaces (2.5m x 5m tandem parking bays) is also acceptable. Visitor parking is spread across the site, with indented parking bays on the street providing an accessible arrangement for users. Vehicle parking is, in the main, located to the side of dwellings in a tandem arrangement, a conventional parking layout that will not impact local highway safety. There is ample room for cycle storage on each plot.
- 8.4. The internal road design may require some alteration in order to accommodate street trees, this however does not appear to be of any significant consequence in design terms given the scale of the site. Three proposed raised tables to the internal road promotes pedestrian safety.
- 8.5. The road layout has been designed taking into account the required vehicle tracking for waste collection vehicles. As a result, the Waste Management team does not object to the proposed road layout. Refuse collections are from the roadside and most properties have direct access to enable kerbside collection. Plots 1 -3, 7 - 9, 22 - 25 and 42 - 47 have rear garden access in private drives or courtyards. These properties have access to a roadside bin collection point and occupants will move their bins to these stations on collection day.
- 8.6. Two 2m wide footpath linkages are provided from the site to Finningham Road. Footpath /cycle connections are also proposed to the west into Silver Street (3.7m wide shared pathway) and to the southern site to provide a future potential connection onto Falconer Avenue. Proposed pedestrian/cycle connectivity between the site and the village is therefore excellent. The Highways Authority notes the need to relocate the electricity pole and stay located in proximity of the proposed footway connection. An amended plan condition can address this requirement, noting the applicant has confirmed acceptance of the need for the pole/stay relocation.
- 8.7. Electric vehicle infrastructure (ducting and suitable consumer unit with 7.4kw minimum charge specification) for each dwelling is to be provided in order to comply with Suffolk Guidance for Parking. This can be addressed by a condition of consent. Officers note the desire of the Parish Council to see the incorporation of communal (pay per use) electric vehicle charging points in the development, in addition to the on-plot charging points. However this would go beyond the minimum requirements set out in the Suffolk for Parking Guidance.
- 8.8. The proposal complies with Local Plan Policy T09 and T10. Officers conclude that the development will not result in a severe impact on the functioning of the local highway network.
- 8.9. Officers conclude that the development, subject to compliance with consent conditions and implementation of financial obligations, will not result in adverse highway safety impacts.

## **9.0 Housing Mix and Affordable Housing Provision**

- 9.1. It is policy that 35% of dwellings are provided as affordable units, equating to in this instance a need for 16.45 affordable units. The application proposes 16 units with the balance provided by way of a commuted sum (£34,171). This arrangement is acceptable and, in effect, the application complies with the 35% requirement.
- 9.2. The Strategic Housing Officer welcomes a number of scheme aspects, including: (a) the distribution of the affordable housing across the site; (b) the tenure-neutral design of the affordable units; and (c) the commitment to meeting part M4(2) of the Building Regulations. Also of note is that all of the proposed dwellings, affordable and market units, meet the Nationally Described Space Standard.
- 9.3. In terms of housing mix, the Strategic Housing Officer recommends the incorporation of a small number of one bedroom units to meet affordable housing needs, as well as open market needs. The absence of one bedroom units is a disappointing element of the scheme, a less preferable housing outcome that must be weighed in the planning balance.

## **10.0 Ecology**

- 10.1. Policy CS5 of the Core Strategy requires development to protect, manage and enhance Mid Suffolk's biodiversity.
- 10.2. The application is supported by a significant volume of ecology-related documentation, including an Impact Assessment and Conservation Payment Certificate countersigned by Natural England. All of the supporting documentation has been reviewed by the ecology consultant who does not raise an objection. The consultant is satisfied with the supporting information, confirming that the mitigation measures identified in the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021) and the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021) should be secured and implemented in full. Implementation of the proposed measures can be addressed by planning conditions.
- 10.3. The consultant considers the proposal to comply with the Conservation of Habitats and Species Regulations 2017 (as amended), subject to the site being registered under a site licence as proposed by the applicant. Submission of a copy of the site licence registration shall be made a condition of consent, in line with the ecology consultant's recommendation. A Wildlife Friendly Lighting Strategy is also a recommended requirement to be sought via planning condition.
- 10.4. Subject to compliance with consent conditions, the development will not generate adverse biodiversity impacts.

## **11.0 Scheme Benefits**

- 11.1. The application should be determined in accordance with the development plan unless material considerations indicate otherwise. The benefits of the development, as material considerations, must therefore be taken into account.
- 11.2. Such benefits in this case principally relate to the provision of new housing. New housing, and new affordable housing, are important benefits given the scale proposed. The district's current housing supply exceeds five years and therefore the magnitude of the public benefit in this regard is moderated, however the benefit remains important and tangible. The economic benefits to flow from a 47 dwelling development would also not be insignificant, particularly the increased local spending by future occupants that will occur, which will be a benefit to the village.

## **PART FOUR – CONCLUSION**

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### **12.0 Planning Balance and Conclusion**

- 12.1. The starting point for determining this application is s38(6) of the Planning and Compulsory Purchase Act 2004. This requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
- 12.2. The relevant development plan policies most important for determining the application are out-of-date. Core Strategy Policy FC1 states that where relevant policies are out-of-date permission will be granted unless material considerations indicate otherwise – taking account whether any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF.
- 12.3. The principle of developing the site for this scale of residential is already established; the site is a sustainable location for housing, very well connected to the local village by sustainable transport modes.
- 12.4. The limited design diversity provides for a rather repetitive townscape, which will have a minor adverse impact on local built character. The development will result in less than minor adverse landscape and heritage character impacts. There will not be adverse residential amenity, highway safety or biodiversity impacts provided recommended conditions of consent are complied with. In conclusion, the development would result in a net adverse impact on the landscape, heritage and built character of the village, but this impact would not be of a high order.
- 12.5. The proposal would deliver market and affordable homes thereby contributing to the district's housing supply. This represents a social benefit of granting permission and one which carries at least moderate weight in the planning balance, notwithstanding the fact that the district has a five year housing supply. It is important to note in this context however that the five-year housing land supply target is not a ceiling, it is a target. There is support in the NPPF for the provision of affordable housing, including that to meet local needs; the proposal directly implements this requirement with the provision of 16 affordable units, not an insignificant number.
- 12.6 There would be economic benefits in the longer term from future residents of the development spending in the local economy, attracting moderate weight. In addition, an information board will be provided which offers a social benefit.
- 12.6. The identified adverse impacts do not significantly and demonstrably outweigh the benefits of the development. The proposal would constitute a sustainable form of development for which the development plan and NPPF provide a presumption in favour. There are no material considerations indicating that permission should not be granted. Accordingly, planning permission is recommended subject to conditions.

## **RECOMMENDATION**

**(1) Subject to modifications to the eastern-most part of the site to the satisfaction of the Chief Planning Officer and subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Chief Planning Officer as summarised below and those as may be deemed necessary by the Chief Planning Officer to secure:**

Affordable housing mix/tenure

Affordable housing commuted sum £34,171

£11,500 speed limit relocation contribution

On site open space and includes management of the space to be agreed and requirement for public access at all times.

**(2) That the Chief Planning Officer grant Planning Permission upon completion of the legal agreement subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:**

Standard time limit

Approved Plans (Plans submitted that form this application)

Footway connection - electricity pole and stay relocation

Highways conditions

Landscape and Ecological Management Plan amendments

Substation screening details

Boundary Plan amendments

Landscape Masterplan

Soft landscaping plan

Hard landscaping plan

Play equipment details

Sustainability – no more than 105 litres per person per day is used

Sustainability – electric car charging point per dwelling.

Archaeology – Written Scheme of Investigation

Archaeology – Post investigation assessment

Ecological Appraisal Recommendations

Natural England Mitigation Licence

Construction Environmental Management Plan

Wildlife Sensitive Lighting Design Scheme

Flood Risk Assessment implementation

Surface Water Drainage Verification Report

Construction Surface Water Management Plan

Construction hours

No burning

Construction Management Plan

Dust Control

Waste Collection Details

Information board



**(3) And the following informative notes as summarised and those as may be deemed necessary:**

- Pro active working statement
- SCC Highways notes
- Support for sustainable development principles

**(4) That in the event of the Planning obligations or requirements referred to in Resolution (1) above not being secured and/or not secured within 6 months that the Chief Planning Officer be authorised to refuse the application on appropriate grounds.**

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Application No: DC/21/03874

Location: Moat Meadow, Finningham Road,  
Old Newton

		Page Number
Appendix 1: Call In Request	<i>N/a</i>	
Appendix 2: Details of Previous Decision	Approved Outline Planning Permission: 1866/17 – Granted by Committee 28.10.2019	
Appendix 3: Town/Parish Council/s	<b>Old Newton with Dagworth Haughley Stowupland &amp; Wetherden</b>	
Appendix 4: National Consultee Responses	<b>Historic England Environment Agency</b>	
Appendix 5: County Council Responses	<b>SCC – Highways SCC- Travel SCC- Archaeological Services SCC- Floods and Water Management SCC- Development Contributions</b>	
Appendix 6: Internal Consultee Responses	<b>Place Services – Heritage MSDC – Strategic Housing</b>	



Babergh and Mid Suffolk District Councils



	<b>MSDC - Environmental Protection - Noise/Odour/Light/Smoke</b> <b>MSDC - Environmental Protection - Sustainability</b>  <b>MSDC - Environmental Protection - Land Contamination</b>  <b>MSDC - Environmental Protection - Air Quality</b>  <b>MSDC - Public Realm</b>  <b>Place Services - Ecology</b>  <b>Place Services - Landscape</b>  <b>MSDC - Arboricultural Officer</b>  <b>MSDC - Waste Services</b>	
Appendix 7: Any other consultee responses	<b>East Suffolk Internal Drainage Board</b>  <b>Anglian Water</b>  <b>Mid Suffolk Disability Forum</b>  <b>The Garden Trust</b>	
Appendix 8: Application Site Location Plan	Yes	
Appendix 9: Application Plans and Docs	Yes	
Appendix 10: Further information	N/a	

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.




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Babergh and Mid Suffolk District Councils

# Consultee Comments for Planning Application DC/21/03874

## Application Summary

Application Number: DC/21/03874

Address: Moat Meadow Finningham Road Old Newton Suffolk

Proposal: Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

Case Officer: Rose Wolton

## Consultee Details

Name: Mrs Karen Price

Address: Lynwood, Grove Road, Brockdish, Bacton Stowmarket, Nr Diss, Norfolk IP21 4JP

Email: Not Available

On Behalf Of: Old Newton With Dagworth And Gipping Parish Clerk

## Comments

This re-consultation was discussed at the November Parish Council meeting.

The Parish Council's original response of the design of the proposed development being bland and not in keeping with our rural village has attempted to be addressed with the colours and variety but the rooflines are still all exactly the same with no variation, the planned changes is an attempt at cosmetic changes and not embracing what Cllrs wanted for example actual differing designs with use of some dormer windows or undulation of rooflines. Something that could be considered distinctive for a village development planned for that is next to an ancient monument and grade II listed farm setting heritage site. What is proposed is still lacking in character.

It is noted that the developer is addressing the need for smaller affordable properties and Councillors appreciate their attempt to address the majority of concerns raised.

Cllrs would like to see some communal (pay per use) electric vehicle charging points in addition to the on-plot car parking dedicated charging points (EVP) for those properties that will not benefit from dedicated charging points.

Cllrs would like to reinforce the footpath link to the centre of the village as essential. Streetlights have not been addressed in the re-consultation and are still a concern of the parish council.

Overall Cllrs are pleased at the level of consideration given to comments made previously.

Karen Hall-Price - Parish Clerk & RFO

Old Newton with Dagworth & Gipping Parish Council



Ms Rose Wolton  
Babergh Mid Suffolk  
Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

Direct Dial: 01223 582710

Our ref: P01435338

23 December 2021

Dear Ms Wolton

**T&CP (Development Management Procedure) (England) Order 2015  
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**MOAT MEADOW, FINNINGHAM ROAD, OLD NEWTON, SUFFOLK  
Application No. DC/21/03874**

Thank you for your letter of 20 October 2021 regarding further information on the above application for planning permission. Apologies for the delay in responding. On the basis of this information, we offer the following advice to assist your authority in determining the application.

**Historic England Advice**

We have previously provided advice on this case within our remit for the adjacent Scheduled Monument, and in relation to the impact of the proposal on the significance of this asset through development within its setting.

Our engagement with the case dates to the first planning application, where the significance of the Rook Yard Farm double moat (LEN 1451408) was identified. It subsequently became a Scheduled Monument (February 2018) and is a designated heritage asset in policy terms.

*Significance*

The designated asset is a rare double medieval moated enclosure and is the remnants of a high-status medieval manor. It is valued for both the preservation of medieval archaeology within the interior spaces between the moats, and for the form and layout of the moats and ditches. The designation scores highly in evidential and historic values and it is an important site for demonstrating the historical development and use



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HistoricEngland.org.uk



of the landscape in this part of Suffolk.

Moated enclosures were an important feature of the medieval farming landscapes and are particularly a feature of the high Suffolk clayland plateau. The relationship of the moat to the landscape is a part of its significance and its setting extends across the development site, particularly as the moat bounds the north eastern part of the development area.

### *Impact*

The development itself would not have a physical impact upon the monument; however, the red line boundary is adjacent to the monument and as set out above, is clearly within its setting.

We have previously concluded the development is likely to erode that rural context of the designated asset which would in turn result in harm to its significance. Given that considerable improvements have been made to the scheme since its first iteration we are able to confirm that the overall impact of the scheme has been reduced.

There would be a permanent change to the setting of the moat, however the resulting harm would in our view be less than substantial in policy terms.

We have also been reassured that the development would not result in changes to the local watertable and therefore our concerns with regards to the possible hydrological impacts from the development upon the moat have also been reduced.

### *Policy*

The National Planning Policy Framework sets out the desirability of sustaining and enhancing the significance of heritage assets (paragraph 199). It continues that great weight should be given to their conservation and that any harm requires clear and convincing justification, paragraphs 199 and 200. Where a proposal will lead to less than substantial harm, this should be weighed against the public benefits of the proposal, paragraph 202 and 203.

### *Position*

We are pleased to see the revised layout plan has taken on board our previous concerns, and we note the revised design concept document, revised elevations, landscape and visual appraisal and landscape masterplan have been added to the planning application since we last commented.



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Historic England is subject to both the Freedom of Information Act (2000) and Environmental Information Regulations (2004). Any Information held by the organisation can be requested for release under this legislation.

The open area to the eastern end of the development and the approach to the houses that would be visible across the green space is encouraging and an approach that we support.

It would be important to ensure the houses that are visible from the entrance to the site and have those active frontages demonstrates as much as possible a sense of place.

We therefore note the comments from consultees and your conservation advisors with regards to the use of materials and design. We would recommend further consideration is taken to ensure the terms of reference are appropriate for the locally distinct vernacular style of the Suffolk claylands. In particular the choice and colour of bricks for example. We are however content to leave this matter to your in-house design and conservation advice team

We also note that the development plans and docs available do not mention street lighting and we would like to be reassured by the council that street lighting and footway lighting would not be needed in the open area at the eastern end. Lighting here would exacerbate the impact of the scheme on the setting of the moat and increase the heritage harm.

As set out above however we are of the view that the development would result in some residual harm to the significance of the monument through development within its setting. This is less than substantial in nature therefore the council in determining the application need to take regard of the policy test set out in para 202 of the NPPF.

We also support the need for further archaeological work and would encourage the council to consider offsetting heritage impacts through schemes that demonstrate positive enhancements such as interpretation.

### **Recommendation**

Historic England has no objection to the application on heritage grounds. We consider that there are minor issues and safeguards outlined in our advice that need to be addressed in order for the application to meet the requirements of in particular paragraphs 202 of the NPPF.

Your authority should take these representations into account in determining the application. If there are any material changes to the proposals, or you would like further advice, please contact us. Please advise us of the decision in due course.



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Historic England

Yours sincerely

Will Fletcher

**Will Fletcher**

Development Advice Team Leader

E-mail: [will.fletcher@HistoricEngland.org.uk](mailto:will.fletcher@HistoricEngland.org.uk)

cc: Abby Antrobus (SCCAS)



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*Historic England is subject to both the Freedom of Information Act (2000) and Environmental Information Regulations (2004). Any Information held by the organisation can be requested for release under this legislation.*

**From:** Ipswich, Planning  
**Sent:** 03 November 2021 13:49  
**Subject:** RE: DC/21/03874 Moat Meadow Finningham Road Old Newton

Good Afternoon

Thank you for your email. There are no constraints within our remit and therefore we have no comments.

Kind Regards

Liam

**Liam Robson**  
Sustainable Places Planning Advisor – East Anglia Area (East)

Your Ref: DC/21/03874  
Our Ref: SCC/CON/4828/21  
Date: 5 November 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Rose Wolton - MSDC

Dear Rose

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/03874**

**PROPOSAL:** Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

**LOCATION:** Moat Meadow, Finningham Road, Old Newton, Suffolk

Further to the comments raised in our previous response (dated 23rd July 2021), the County Council as Highway Authority make the following comments:

**Footway Connection on Finningham Road:**

Although it has been communicated via email that the existing electricity pole and stay will be relocated, this has not been shown on an amended drawing, or in documents within the planning submission. Therefore, we are not confident that this amendment can be guaranteed.

We consider it essential as the footway will be considered a pinch point at around 1.2 metres wide in this area and vulnerable road users would not be able to pass the stay within the footway width. Please amend the relevant drawings to show the relocation of these items.

**Speed Limit:**

It is unclear whether the applicant has accepted this requirement, that we consider essential.

*In order to relocate the speed limit as proposed, a Section 106 contribution of £11,500 will be required to cover the cost of the necessary legal order and the associated statutory requirements of the process.*

**Estate Road Layout:**

The developer has confirmed via email that the development estate roads will remain private.

Yours sincerely,

**Ben Chester**  
**Senior Transport Planning Engineer**  
Growth, Highways and Infrastructure

Your Ref:DC/21/03874  
Our Ref: SCC/CON/3340/21  
Date: 23 July 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
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Suffolk  
IP1 2BX

For the attention of: Rose Wolton

Dear Rose

**TOWN AND COUNTRY PLANNING ACT 1990**

**CONSULTATION RETURN:** DC/21/03874

**PROPOSAL:** Full Planning Application - Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage.

**LOCATION:** Moat Meadow, Finningham Road, Old Newton, Suffolk

**ROAD CLASS:** B

Notice is hereby given that the County Council as Highway Authority make the following comments:

Whilst noted that the site benefits from outline permission (1866/17) and subsequently, we have no objection to the principle of the proposal, there are several matters that should be addressed or considered before the Highway Authority provides a positive response with recommended planning conditions:

**Footway Connection on Finningham Road:**

The previously consented proposal (1866/17) noted the requirement of the Highway Authority to have the existing electricity pole and stay relocated, as it is located on a narrow section of the proposed footway link. This proposal does not appear to include any confirmation that these items will be relocated and subsequently, it is unclear whether their relocation is proposed. We consider it essential as the footway will be considered a pinch point at around 1.2 metres wide in this area and vulnerable road users would not be able to pass the stay within the footway width. Please amend the relevant drawings to show the relocation of these items.

**Speed Limit:**

In order to relocate the speed limit as proposed, a Section 106 contribution of £11,500 will be required to cover the cost of the necessary legal order and the associated statutory requirements of the process.

**Estate Road Layout:**

It is unclear whether the developer intends to have the development estate roads adopted by the Highway Authority under a Section 38 Agreement. If so, it is worth noting that the proposed layout would not be suitable for adoption. Issues such as footway provision, junction radii, drainage location and type and access locations would not be acceptable. Details on the requirements can be found via the link below:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/>

**SCC Passenger Transport and PROW team comments/ S106 contribution requests:**

We are awaiting comments and these will be provided in subsequent highways responses or directly from those teams.

Yours sincerely,

**Ben Chester****Senior Transport Planning Engineer**

Growth, Highways and Infrastructure

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 16 Jul 2021 02:13:44

**To:**

**Cc:**

**Subject:** FW: MSDC Planning Consultation Request - DC/21/03874

**Attachments:**

---

**From:** Chris Ward <Chris.Ward@suffolk.gov.uk>

**Sent:** 16 July 2021 11:25

**To:** Rose Wolton <Rose.Wolton@babberghmidsuffolk.gov.uk>

**Cc:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Subject:** RE: MSDC Planning Consultation Request - DC/21/03874

Dear Rose,

Thank you for consulting me about the proposed residential development off Finningham Road in Old Newton. On reviewing the application documents, I have no comment to make as the development does not meet the threshold in requiring a Travel Plan in accordance with the Suffolk Travel Plan Guidance.

Kind regards

**Chris Ward**

Active Travel Officer

Transport Strategy

Strategic Development - Growth, Highways and Infrastructure

Suffolk County Council

Endeavour House, 8 Russell Road, Ipswich, IP1 2BX

web : <https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/travel-plans/>

-----Original Message-----

**From:** [planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk) <[planningyellow@babberghmidsuffolk.gov.uk](mailto:planningyellow@babberghmidsuffolk.gov.uk)>

**Sent:** 16 July 2021 11:11

**To:** Chris Ward

**Subject:** MSDC Planning Consultation Request - DC/21/03874

Please find attached planning consultation request letter relating to planning application - DC/21/03874 - Moat Meadow, Finningham Road, Old Newton, Suffolk

Kind Regards

Planning Support Team

Emails sent to and from this organisation will be monitored in accordance with the law to ensure compliance with policies and to minimize any security risks. The information contained in this email or any of its attachments may be privileged or confidential and is intended for the exclusive use of the addressee. Any unauthorised use may be unlawful. If you receive this email by mistake, please advise the sender immediately by using the reply facility in your email software. Opinions, conclusions and other information in this email that do not relate to the official business of Babergh District Council and/or Mid Suffolk District Council shall be understood as neither given nor endorsed by Babergh District Council and/or Mid Suffolk District Council.

Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested.

For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.

Growth, Highways and Infrastructure  
Bury Resource Centre  
Hollow Road  
Bury St Edmunds  
Suffolk  
IP32 7AY

Philip Isbell  
Corporate Manager - Development Manager  
Planning Services  
Babergh and Mid Suffolk District Councils  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

Enquiries to: Matthew Baker  
Direct Line: 01284 741329  
Email: [Matthew.Baker@suffolk.gov.uk](mailto:Matthew.Baker@suffolk.gov.uk)  
Web: <http://www.suffolk.gov.uk>

Our Ref: 2021\_03874  
Date: 27<sup>th</sup> July 2021

For the Attention of Rose Wolton

Dear Mr Isbell

**Planning Application DC/21/03874/FUL – Moat Meadow, Finningham Road, Old Newton: Archaeology**

This site lies in an area of archaeological potential recorded on the County Historic Environment Record (HER). The proposed development area is situated immediately south of a scheduled medieval moated site (HER ref no. [ONW 001](#); Historic England list no. [1451408](#)) and to the north of Cross Green ([ONW 064](#)). As a result, there is high potential for encountering archaeological remains at this location and the proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit and below ground heritage assets that exist.

Due to the proposed developments proximity to Rookyard Farm Moats a scheduled ancient monument, Historic England and Mid Suffolk's Heritage Team should be consulted regarding the impacts of the proposal on the setting of the scheduled moated site.

There are no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important below ground heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 199), any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following two conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.



The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under part 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

**REASON:**

*To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).*

**INFORMATIVE:**

*The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.*

I would be pleased to offer guidance on the archaeological work required and, in our role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological work required at this site. In this case, an archaeological evaluation will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

Further details on our advisory services and charges can be found on our website: <http://www.suffolk.gov.uk/archaeology/>

Please do get in touch if there is anything that you would like to discuss or you require any further information.

Yours sincerely,

Matthew Baker

Archaeological Officer  
Conservation Team

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 22 Oct 2021 10:34:03

**To:**

**Cc:**

**Subject:** FW: 2021-10-22 JS Reply Moat Meadow, Finningham Road, Old Newton Ref DC/21/03874

**Attachments:**

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-----Original Message----- From: GHI Floods Planning Sent: 22 October 2021 10:23 To: BMSDC Planning Area Team Yellow Cc: Rose Wolton Subject: 2021-10-22 JS Reply Moat Meadow, Finningham Road, Old Newton Ref DC/21/03874 Dear Rose Wolton, Subject: Moat Meadow, Finningham Road, Old Newton Ref DC/21/03874 The LLFA has no further comment to make at this time. Kind Regards Jason Skilton Flood & Water Engineer Suffolk County Council Growth, Highway & Infrastructure Endeavour House, 8 Russell Rd, Ipswich , Suffolk IP1 2BX \*\*Note I am remote working for the time being\*\*

**MID SUFFOLK DISTRICT COUNCIL**

**MEMORANDUM**

To: Rose Wolton – Planning Officer

From: Robert Feakes – Housing Enabling Officer

Date: 05 August 2021

Subject: Application for planning permission - DC/21/03874

Proposal: Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage.

Location: Moat Meadow, Finningham Road, Old Newton, Suffolk

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**1. Key Points**

A development of 47 homes, with a policy-compliant 16 affordable homes provided on site.
--

A change to the affordable housing mix is requested, to include a small number of 1-bed units to meet affordable housing needs.
---

**2. Housing Need Information:**

2.1 The Ipswich Housing Market Area, Strategic Housing Market Assessment (SMHA) document, updated in 2019, confirms a continuing need for housing across all tenures and a growing need for affordable housing.

2.2 The 2019 SHMA indicates that in Mid Suffolk there is a need for 127 new affordable homes per annum. The Council's Choice Based Lettings system currently has 9 applicants registered for affordable housing with a local connection to Old Newton with Dagworth, as of August 2021, with more than 550 on the Housing Register with a connection to Mid Suffolk.

**3. Preferred Mix for Affordable Housing**

3.1 Mid Suffolk policy is for relevant development to provide 35% affordable housing. For a development of 47 units, this equates to 16.45 affordable units, which is reflected in the applicant's proposals, with the Planning Statement indicating 16 affordable homes on site plus a commuted sum to make up the difference.

3.2 The proposed affordable housing mix, derived from the Accommodation Schedule is as follows:

Tenure	Number	Beds	Type	Size (M <sup>2</sup> )
Affordable Rent	8	2b4p	House	79.04
	4	3b4p	House	84.56
<i>Sub Total:</i>	12			
Shared Ownership	2	2b4p	House	79.04
	2	3b4p	House	84.56
<i>Sub Total:</i>	4			
<b>Total</b>	<b>16</b>			

3.3 The residual 0.45 of a unit should be provided via a commuted sum. This equates to **£34,171**. A methodology for calculating this figure is appended to this letter.<sup>i</sup>

3.4 Through pre-application discussion, and as set out in application documents, a small number of 1-bed units were requested. The applicant has asserted, in the Planning Statement (para 5.9), that flats are not appropriate due to the character of the area and bungalows take up too much land. This may or may not be the case and is a judgement for the decision maker.

3.5 The breakdown of the local affordable housing need would indicate a need for 1-bed units. Given the nature of the village, this should not be a large number. As such, the decision maker should determine whether 1-bed units can be accommodated on-site. Bungalows represent an attractive option given the ageing population. A possible compromise would be to replace two of the 2b4p semi detached (Carlton) units with two 58m<sup>2</sup> 1b2p semi-detached or terraced units, fitted with level access showers.

3.6 The 3-bed affordable units have been designed to accommodate 4 persons. The floorspaces should be increased to a minimum of 93m<sup>2</sup> in order to accommodate a fifth person (3b5p units). This could be achieved by switching the 6 x 3b4p Sowerby affordable units for the applicant's Foxhill units. This is important for giving more flexibility to accommodate a wider range of household needs.

3.7 The comment immediately above notwithstanding, the affordable units all meet the Nationally Described Space Standard.

3.8 The distribution of the affordable housing is acceptable. The Planning Statement commits to tenure-blind design and, with the Site Plan (house types and tenures) showing that the affordable housing is drawn from the same range of dwelling types as the market homes. This is welcomed, as is the commitment to meeting part M4(2) of the Building Regulations.

3.9 It needs to be confirmed that the eventual Registered Provider will not be subject to sharing any unreasonable ongoing costs for highway maintenance. As such, please confirm that all the affordable units will be directly accessible from adoptable highway

or, where the affordable units are accessed off a separate private drive which may not be adopted by the Highway Authority, that the drive will be accessed from adoptable highway, delivered to adoptable standard and transferred to the RP. Any costs incurred from maintainable roads should be included in service charges, paid by leaseholders / renters of the affordable units.

3.10 A phasing plan will need to be agreed and secured via a planning obligation, to ensure that affordable homes are delivered alongside market homes.

3.11 Other relevant information on the affordable housing is as follows:

- The Affordable Housing must be promptly transferred to an appropriate Registered Provider, acceptable to, and with the agreement, of the District Council.
- The Council is to be granted 100% nomination rights to all the affordable units on initial lets and 100% thereafter.
- Adequate parking provision, cycle storage and shed provision must be made for the affordable housing units.
- The Council will not support applications for grant funding to deliver these affordable homes.

#### 4. Open Market Mix: -

4.1 The open market dwellings proposed are as follows:

Type	Number
2b4p House	13
3b4p House	13
3b5p House	4
4b6p House	1

4.2 The SHMA (2019, part 2) indicates the market housing requirements for the district as a whole. This may not represent a directly and specifically appropriate mix in the circumstances of a development, but it offers a guide as to how the development contributes to meeting overall needs. The table below suggests a need to increase the number of small (1-bed) and large (4-bed+) units.

Size of unit (bedrooms)	Current proposal	Split to meet district-wide requirement <sup>ii</sup>	Difference
1	0	2	-2
2	13	11	2
3	14	9	5
4+	4	9	-5

4.3 Data from the 2011 Census shows significantly higher levels of under-occupation in both Old Newton with Dagworth (79.5%) and Mid Suffolk (80.8%) than England as a whole (68.7%), indicating potential demand for smaller homes to enable downsizing.

4.4 On the basis of these sources and with regard to Policy CS9 of the Mid Suffolk Core Strategy, the applicant could be asked to reconsider this mix in order to deliver some one-bed units. Given the levels of under-occupation locally, it is not recommended to increase the number of larger units. To do so would also reduce affordability.

4.5 Whilst not currently a planning policy requirement, it is noted that all the market units meet the Nationally Described Space Standard.

## Appendix 1: Commuted Sum Calculation

The commuted sum calculation is as follows based on a 2-bed affordable dwelling as this is much needed within the district:

An NDSS compliant 2 bed 4-person house @ 79 sqm GIA at a design and build rate of £2,000/m<sup>2</sup> for an affordable unit gives the following total design and build cost:

$$79 \times £2,000 = £158,000$$

A suitable plot value based on the above property and taking the District Valuation Service Property market report into account at £600/sqm is £47,400.00

Design and Build Cost:	£158,000
Plot Value:	£47,400
Plus, Housing Association on costs at 7% of design and build	£11,060
Plus MSDC management fee of	£500.00

Less Housing Association acquisition price	£141,024
--	----------

Commuted sum total = £75,936 per 2 bed house unit

The figure for 1 whole dwelling is £75,936 therefore in this case the sum required to be paid for 45% of one dwelling = **£34,171**

ii

## Appendix 2: Size of new owner-occupied accommodation required in Mid Suffolk over the next 18 years

Source: Ipswich Strategic Housing Market Assessment Part 2 Partial Update (January 2019)

Table 4.4e (using the 2014-based projections)

<b>Size of home</b>	<b>Current size profile</b>	<b>Size profile 2036</b>	<b>Change required</b>	<b>% of change required</b>
One bedroom	707	1,221	515	7.2%
Two bedrooms	5,908	8,380	2,472	34.4%
Three bedrooms	13,680	15,784	2,104	29.3%
Four or more bedrooms	12,208	14,303	2,096	29.2%
<b>Total</b>	<b>32,502</b>	<b>39,688</b>	<b>7,186</b>	<b>100.0%</b>



FAO: Planning Department,  
**Babergh Mid-Suffolk District Council**

Ref: DC/21/03874  
Date: 28/10/2021

## HISTORIC BUILDINGS AND CONSERVATION ADVICE

Dear Sir / Madam,

### **RE: MOAT MEADOW FINNINGHAM ROAD OLD NEWTON SUFFOLK**

This application is for the erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

Since my previous comments (dated 19<sup>th</sup> August), revised drawings have been submitted. It has been established in the heritage statement and the assessment of the impact of the site by Historic England and the Local Authority that the development would result in a level of less than substantial harm to the Rookyard Farm site. Two suggested areas were identified in my previous response, where it would be possible to mitigate this level of harm to some degree.

The first was the single access route through the open green space to the east of the proposed development which is intended as the sole vehicular site access, via Finningham Road. No amendments have been made to this aspect. However, the current layout scheme is an overall improvement on the earlier, more urban designs where development extended to the eastern end of the site. I accept there are likely to be reasons for not introducing a second vehicular access at the western end of the site. Yet the submission of further details of lighting, surface treatments and any proposed bollards in this open eastern area would be beneficial.

A second suggested area for mitigation was the design and materials of the dwellings. A minimum of improvement has been introduced in the revised scheme, with the referencing of buildings, architecture and materials found in Old Newton, to a very limited degree. Yet the design scheme for the dwellings still retains a uniformity and the full use of high-quality, natural materials, details and finishes previously recommended has still not been achieved. The overall character and appearance of the dwellings is repetitive and monotonous. I still recommend far more diversity in the design of the dwellings and greater variation in the house types, to ensure the development makes a positive contribution to local character and distinctiveness (as required in Paragraph 197c of the NPPF) and that it fully draws on the contribution made by the historic environment to the character of place (as required in Paragraph 190d of the NPPF).





Yours sincerely,

David Sorapure IHBC  
Built Heritage Consultant  
Place Services

*Note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter*



FAO: Planning Department,  
**Babergh Mid-Suffolk District Council**

Ref: DC/21/03874  
Date: 19/08/2021

## HISTORIC BUILDINGS AND CONSERVATION ADVICE

Dear Sir / Madam,

### **RE: MOAT MEADOW FINNINGHAM ROAD OLD NEWTON SUFFOLK**

This application is for the erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

The site is adjacent and to the south of the moated site of Rookyard Farm, a scheduled ancient monument (List UID: 1451408). Rookyard Farmhouse itself, within the moated site is a Grade II Listed building, dating to the early-sixteenth century (List UID: 1352300). To the northwest of the site is the Grade II Listed Dagworth Farmhouse (List UID: 1181801).

The principle and general form of the development has been accepted by the Council through the consented outline scheme. This current full application provides some amended details to the layout and landscaping, with details of house design and materials. The open space at the eastern end of the site has been designed to lessen the potential impact to the significance of the adjacent listed building and scheduled ancient monument.

The previous heritage statement (prepared by Martin Steadman) for the consented outline scheme concluded that "*There will be no impact on the fabric, curtilage or "setting" of Rookyard Farm*". In contrast, the Heritage and Design Officer at the time, stated that the development would result in less than substantial harm to a designated heritage asset because it would erode the rural setting of the listed Rookery Farmhouse. This conclusion was also reached by Historic England.

The heritage statement accompanying this full application (prepared by RPS) acknowledges the assessment from Historic England, which found that the development would erode the rural context of the Rookyard Farm site which would result in harm to its significance. The current Heritage Statement finds that the full proposed scheme would have no greater impact on the significance of the Rookyard Farm site, when compared to the consented scheme (that is, it would result in less than substantial harm). I agree with this assessment.

With regard to Dagwood Farm, the Heritage Statement concludes that the proposed development would have no impact on the significance of the Grade II listed building and I agree with this assessment.



With regard to the layout, the full application proposes a scheme which is an improvement on the earlier, more urban designs. There are concerns that the only vehicular access to the development is from the east via Finningham Road and then through the open space to the south of the Scheduled Ancient Monument and Listed building. To the west access to Silver Street is proposed for bicycles and pedestrians only. As such, the concentration of traffic, through the open area and then into Finningham Road, passes directly adjacent to the heritage assets. This erodes the 'open space', and therefore character, that has been proposed as being retained to the south.

The details of the boundary treatments indicate that the hedge boundary of the site will be retained, with a wild grassland strip adjacent to the hedgerow on the interior side followed by close-board fencing. The fencing has been used sparingly on the eastern aspect of the development, when approached through the open area. Elsewhere within the development brick walls are indicated, along with timber post and knee rails. The boundary treatments are appropriate and I have no objections.

With regard to the designs proposed for the dwellings, five house types are indicated. All are to be brick-built which it is suggested is a reflection of the character of the village. While Old Newton does indeed have brick built dwellings, there are also examples of rendered and weatherboarded houses. Architectural details on the more notable houses within the village include bay windows, bargeboards, ridge tiles and porches and these serve to provide visual interest and distinction. Yet there is little variation within the house types proposed, with a uniformity in fenestration and overall character. The houses are to have brick arched lintels and horizontal brick bands, but more could be done to ensure the development has a distinctive character. More details regarding the proposed materials would be required as a planning condition, although the proliferation of uPVC windows, doors, soffits and fascias is not ideal. Considering the less than substantial level of harm that will result from the development, a revision of the design for the dwellings should be reconsidered, as a means of lessening this harm.

The National Planning Policy Framework (NPPF) states that a positive strategy for the conservation and enjoyment of the historic environment should take into account the opportunities to draw on the contribution made by the historic environment to the character of a place (Paragraph 190d). In addition, Paragraph 197c states that when determining applications, local planning authorities should take account of the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 206 of the NPPF states that local planning authorities should look for opportunities for new development within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably. While the open space in the eastern part of the site is intended to reduce the impact of the development on the historic site to the north, it cannot be considered as an enhancement, particularly due to the access road. Similarly, the level of harm resulting from the erosion of the rural context of the Rookyard Farm, is not likely to be fully mitigated by design due to the principle of development. However, a greater effort is needed to ensure there are elements of the scheme that will make a more positive contribution to the setting of the heritage assets.

I would recommend a thorough revision of the house designs is necessary, along with the use of high-quality, natural materials, details and finishes, to ensure the development makes a positive contribution to local character and distinctiveness. As a core aim, the development should seek to draw on the contribution made by the historic environment to its character and I do not find that this

has been undertaken. The less than substantial level of harm previously identified by the Heritage and Design Officer, as well as by Historic England and acknowledged in the heritage statement accompanying this full application, requires further mitigation measures to be given greater consideration, in terms of the buildings' design, materials and appearance.

Yours sincerely,

David Sorapure IHBC  
Built Heritage Consultant  
Place Services

*Note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter*

## Consultation Response

<b>1</b>	<b>Application Number</b>	<b>DC/21/03874</b>  Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.  Moat Meadow Finningham Road Old Newton Suffolk	
<b>2</b>	<b>Date of Response</b>	27 October 2021	
<b>3</b>	<b>Responding Officer</b>	Name:	Robert Feakes
		Job Title:	Housing Enabling Officer
		Responding on behalf of:	Strategic Housing
<b>4</b>	<b>Recommendation</b>	Comment	
<b>5</b>	<b>Discussion</b>	It appears that the additional submitted documents are not of relevance to housing requirements.  The potential exception to this is the slight change to the design features; this should not be allowed to alter the commitment to tenure-neutral design.	
<b>6</b>	<b>Amendments, Clarification or Additional Information Required</b>	None	
<b>7</b>	<b>Recommended conditions</b>	No further recommendations	

**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Sent:** 28 Oct 2021 04:11:33

**To:**

**Cc:**

**Subject:** FW: DC/21/03874 reconsultation

**Attachments:**

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**From:** Andy Rutson-Edwards <Andy.Rutson-Edwards@babberghmidsuffolk.gov.uk>

**Sent:** 28 October 2021 15:52

**To:** Rose Wolton <Rose.Wolton@babberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@babberghmidsuffolk.gov.uk>;

BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>

**Subject:** DC/21/03874 reconsultation

Environmental Health -  
Noise/Odour/Light/Smoke

**APPLICATION FOR PLANNING PERMISSION - DC/21/03874**

**Proposal:** Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

**Location:** Moat Meadow, Finningham Road, Old Newton, Suffolk

**Reason(s) for re-consultation:** Agent letter with revised drawings and documents received 08.10.21

Thank you for re consulting me on this application ,

In line with my previous comments, construction activities have the potential to cause a loss of amenity during the works. I therefore request that the following are added to any planning permissions by way of condition:

**Construction**

Construction Hours

Operations related to the construction (including site clearance and demolition) phases) of the permitted development/use shall only operate between the hours of 08.00 and 18.00hrs Mondays to Fridays and between the hours of 09.00 and 13.00hrs on Saturday. There shall be no working and/or use operated on Sundays and Bank Holidays. There shall be no deliveries to the development/use arranged for outside of these approved hours.

*Reason: to minimise detriment to nearby residential amenity*

Prohibition on burning.

No burning shall take place on site at any stage during site clearance, demolition or construction phases of the project.

*Reason: to minimise detriment to nearby residential amenity*

Dust control

The development shall not be commenced until a scheme specifying the provisions to be made to control dust emanating from the site has been submitted to and approved in writing by the local planning authority. The agreed scheme shall then be implemented in full before the proposed development is started, including demolition and site clearance.

*Reason: to minimise detriment to nearby residential amenity*

Construction Management Plan

No development shall commence until a construction management plan has been submitted to and approved in writing by the Local Planning Authority. The construction management plan shall include details of:

Operating hours (to include hours for delivery)

Details of the scheduled timing/phasing of the development for the overall construction period

Means of access, traffic routes, vehicle parking and manoeuvring areas (site operatives and visitors)

protection measures for footpaths surrounding the site

Loading and unloading of plant and materials

Wheel washing facilities

Lighting

Location and nature of compounds, pottraloos and storage areas (including maximum storage heights) and factors to prevent wind-whipping of loose materials

Waste storage and removal

Temporary buildings and boundary treatments  
Dust management measures  
Method of any demotion to take place, including the recycling and disposal of materials arising from demolition.  
Noise and vibration management (to include arrangements for monitoring, and specific method statements for piling) and;  
Litter and waste management during the construction phases of the development.

Thereafter, the approved construction plan shall be fully implemented and adhered to during the construction phases of the development hereby approved, unless otherwise agreed in writing by the Local Planning Authority.

Note: the Construction Management Plan shall cover both demotion and construction phases of the above development. The applicant should have regard to BS 5228:2009 Code of Practice of Noise and Vibration Control on Construction and Open Sites in the CMP.

*Reason: to minimise detriment to nearby residential amenity*

*Andy*  
**Andy Rutson-Edwards**, MCIEH AMIOA  
Senior Environmental Protection Officer  
**Babergh and Mid Suffolk District Council - Working Together**  
Tel: 01449 724727  
Email [andy.rutson-edwards@baberghmidsuffolk.gov.uk](mailto:andy.rutson-edwards@baberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 19 Jul 2021 02:29:52

**To:**

**Cc:**

**Subject:** FW: DC/21/03874

**Attachments:**

---

**From:** Andy Rutson-Edwards <Andy.Rutson-Edwards@baberghmidsuffolk.gov.uk>

**Sent:** 19 July 2021 14:24

**To:** Rose Wolton <Rose.Wolton@baberghmidsuffolk.gov.uk>; BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>; BMSDC Planning Mailbox <planning@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/03874

Environmental Health -  
Noise/Odour/Light/Smoke

**APPLICATION FOR PLANNING PERMISSION - DC/21/03874**

**Proposal:** Full Planning Application - Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage.

**Location:** Moat Meadow, Finningham Road, Old Newton, Suffolk

Thank you for consulting me on this application. I have no objections in principle. However, construction activities have the potential to cause a loss of amenity during the works.

I therefore request that the following are added to any planning permissions by way of condition:

**Construction**

Construction Hours

Operations related to the construction (including site clearance and demolition) phases) of the permitted development/use shall only operate between the hours of 08.00 and 18.00hrs Mondays to Fridays and between the hours of 09.00 and 13.00hrs on Saturday. There shall be no working and/or use operated on Sundays and Bank Holidays. There shall be no deliveries to the development/use arranged for outside of these approved hours.

*Reason: to minimise detriment to nearby residential amenity*

Prohibition on burning.

No burning shall take place on site at any stage during site clearance, demolition or construction phases of the project.

*Reason: to minimise detriment to nearby residential amenity*

Dust control

The development shall not be commenced until a scheme specifying the provisions to be made to control dust emanating from the site has been submitted to and approved in writing by the local planning authority. The agreed scheme shall then be implemented in full before the proposed development is started, including demolition and site clearance.

*Reason: to minimise detriment to nearby residential amenity*

Construction Management Plan

No development shall commence until a construction management plan has been submitted to and approved in writing by the Local Planning Authority. The construction management plan shall include details of:

Operating hours (to include hours for delivery)



Details of the scheduled timing/phasing of the development for the overall construction period  
Means of access, traffic routes, vehicle parking and manoeuvring areas (site operatives and visitors)  
protection measures for footpaths surrounding the site  
Loading and unloading of plant and materials  
Wheel washing facilities  
Lighting  
Location and nature of compounds, pottraloos and storage areas (including maximum storage heights) and factors to prevent wind-whipping of loose materials  
Waste storage and removal  
Temporary buildings and boundary treatments  
Dust management measures  
Method of any demotion to take place, including the recycling and disposal of materials arising from demolition.  
Noise and vibration management (to include arrangements for monitoring, and specific method statements for piling) and;  
Litter and waste management during the construction phases of the development. Thereafter, the approved construction plan shall be fully implemented and adhered to during the construction phases of the development hereby approved, unless otherwise agreed in writing by the Local Planning Authority.  
Note: the Construction Management Plan shall cover both demotion and construction phases of the above development. The applicant should have regard to BS 5228:2009 Code of Practice of Noise and Vibration Control on Construction and Open Sites in the CMP.

*Reason: to minimise detriment to nearby residential amenity*

#### Foul Drainage scheme

Prior to the commencement of development details of the foul drainage scheme to serve the development shall be submitted to and approved, in writing, by the Local Planning Authority prior to the beginning of any works to the site are commenced. No part of the development shall be first occupied or brought into use until the agreed method of foul water drainage has been fully installed and is functionally available for use. The foul water drainage scheme shall thereafter be maintained as approved.

*Reason: to minimise detriment to nearby residential amenity*

*Andy*

**Andy Rutson-Edwards**, MCIEH AMIOA  
Senior Environmental Protection Officer  
**Babergh and Mid Suffolk District Council - Working Together**  
Tel: 01449 724727  
Email [andy.rutson-edwards@baberghmidsuffolk.gov.uk](mailto:andy.rutson-edwards@baberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Simon Davison  
**Sent:** 01 November 2021 09:57  
**Subject:** DC/21/03874

Dear Rose,

**APPLICATION FOR PLANNING PERMISSION - DC/21/03874**

**Proposal:** Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

**Location:** Moat Meadow, Finningham Road, Old Newton, Suffolk.

**Reason(s) for re-consultation:** Agent letter with revised drawings and documents received 08.10.21.

Many thanks for your request to comment on the application. I have a few comments to add in relation to my consultee comment on the 5<sup>th</sup> August.

While the Energy and Sustainability Statement (ESS) addressed most of the conditions identified in my original comment there are two exceptions that still need to be addressed:

- Agreement of provisions to ensure no more than 105 litres per person per day is used – The ESS has projected use of 105.9 l/p/d
- An electric car charging point per dwelling.

The scheme shall include a clear timetable for the implementation of the measures in relation to the first occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed and thereafter maintained.

Kind regards

Simon Davison PIEMA  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils - Working Together

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 05 Aug 2021 03:55:17

**To:**

**Cc:**

**Subject:** FW: DC/21/03874

**Attachments:**

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**From:** Simon Davison <Simon.Davison@baberghmidsuffolk.gov.uk>

**Sent:** 05 August 2021 15:50

**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/03874

Dear Rose,

**APPLICATION FOR PLANNING PERMISSION - DC/21/03874**

**Proposal:** Full Planning Application - Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage.

**Location:** Moat Meadow, Finningham Road, Old Newton, Suffolk.

Many thanks for your request to comment on the application.

Upon review of the application the following condition must be met: No development shall commence above slab level until a scheme for the provision and implementation of water, energy and resource efficiency measures for the lifetime of the development shall be submitted to and approved, in writing, by the Local Planning Authority.

The scheme such include as a minimum to achieve:-

- Agreement of provisions to ensure no more than 105 litres per person per day is used
- Agreement of provisions to ensure the development is zero carbon ready
- An electric car charging point per dwelling
- A Water-butt per dwelling
- Compost bin per dwelling
- Agreement of heating of each dwelling/building
- Agreement of scheme for waste reduction

The scheme shall include a clear timetable for the implementation of the measures in relation to the first occupancy of the development. The scheme shall be constructed and the measures provided and made available for use in accordance with such timetable as may be agreed and thereafter maintained.

**REASON:** To enhance the sustainability of the development through better use of water, energy and resources reduce harm to the environment and result in wider public benefit in accordance with the NPPF.

Kind regards

Simon Davison PIEMA  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils - Working Together

Mobile: 07874 634932

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email: [simon.davison@baberghmidsuffolk.gov.uk](mailto:simon.davison@baberghmidsuffolk.gov.uk)

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**From:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Sent:** 02 Aug 2021 10:04:57  
**To:**  
**Cc:**  
**Subject:** FW: DC/21/03874. Land Contamination  
**Attachments:**

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**From:** Nathan Pittam <Nathan.Pittam@babberghmidsuffolk.gov.uk>  
**Sent:** 02 August 2021 10:00  
**To:** BMSDC Planning Area Team Yellow <planningyellow@babberghmidsuffolk.gov.uk>  
**Cc:** Rose Wolton <Rose.Wolton@babberghmidsuffolk.gov.uk>  
**Subject:** DC/21/03874. Land Contamination

**EP Reference: 295758**  
**DC/21/03874. Land Contamination**  
**Moat Meadow, Finningham Road, Old Newton, STOWMARKET, Suffolk.**  
**Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage.**

Having reviewed the application and supporting Ground Investigaiton (Geo-environmental ref. GE9749/GIR/APR21) I can confirm that I have no objection to the proposed development from the perspective of land contamination. I would only request that the LPA are contacted in the event of unexpected ground conditions being encountered during construction and that the below minimum precautions are undertaken until such time as the LPA responds to the notification. I would also advise that the developer is made aware that the responsibility for the safe development of the site lies with them.

Please could the applicant be made aware that we have updated our Land Contamination Questionnaire and advise them that the updated template is available to download from our website at <https://www.babergh.gov.uk/environment/contaminated-land/land-contamination-and-the-planning-system/>.

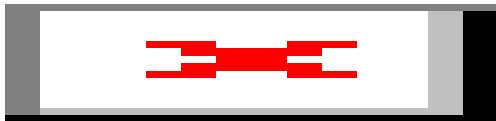
Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@babberghmidsuffolk.gov.uk](mailto:Nathan.pittam@babberghmidsuffolk.gov.uk)  
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**Minimum requirements for dealing with unexpected ground conditions being encountered during construction.**

1. All site works at the position of the suspected contamination will stop and the Local Planning Authority and Environmental Health Department will be notified as a matter of urgency.
2. A suitably trained geo-environmental engineer should assess the visual and olfactory observations of the ground and the extent of contamination and the Client and the Local Authority should be informed of the discovery.
3. The suspected contaminated material will be investigated and tested appropriately in accordance with assessed risks. The investigation works will be carried out in the presence of a suitably qualified geo-environmental engineer. The investigation works will involve the collection of solid samples for testing and, using visual and olfactory observations of the ground, delineate the area over which contaminated materials are present.
4. The unexpected contaminated material will either be left in situ or be stockpiled (except if suspected to be asbestos) whilst testing is carried out and suitable assessments completed to determine whether the material can be re-used on site or requires disposal as appropriate.
5. The testing suite will be determined by the independent geo-environmental specialist based on visual and olfactory observations.
6. Test results will be compared against current assessment criteria suitable for the future use of the area of the site affected.
7. Where the material is left in situ awaiting results, it will either be reburied or covered with plastic sheeting.
8. Where the potentially contaminated material is to be temporarily stockpiled, it will be placed either on a prepared surface of clay, or on 2000-gauge Visqueen sheeting (or other impermeable surface) and covered to prevent dust and odour emissions.
9. Any areas where unexpected visual or olfactory ground contamination is identified will be surveyed and testing results incorporated into a Verification Report.
10. A photographic record will be made of relevant observations.
11. The results of the investigation and testing of any suspect unexpected contamination will be used to determine the relevant actions. After consultation with the Local Authority, materials should either be:
  - re-used in areas where test results indicate that it meets compliance targets so it can be re-used without treatment; or
  - treatment of material on site to meet compliance targets so it can be re-used; or
  - removal from site to a suitably licensed landfill or permitted treatment facility.
12. A Verification Report will be produced for the work.

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 02 Aug 2021 09:53:04

**To:**

**Cc:**

**Subject:** FW: DC/21/03874. Air Quality

**Attachments:**

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**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>

**Sent:** 02 August 2021 09:36

**To:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Cc:** Rose Wolton <Rose.Wolton@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/03874. Air Quality

**EP Reference : 295754**

**DC/21/03874. Air Quality**

**Moat Meadow, Finningham Road, Old Newton, STOWMARKET, Suffolk.**

**Erection of 47No. dwellings (16No affordable), together with open space, landscaping, earthworks and drainage**

I can confirm that the scale of development, at 47 dwellings, is not likely to be of a scale of that would compromise the existing good air quality at, and around the development site. When assessing the impacts of developments we give regard to the existing air quality at the site as provided by DEFRA background concentrations and also the number of likely vehicle movements. DEFRA and the Institute of Air Quality Management provide benchmarks of the scale of development that *may* start to cause a deterioration of air quality that requires further assessment. IAQM indicate that concerns may start to occur on developments which generate 500 vehicle movements a day – this development falls short of this threshold and as such further investigation is not warranted.

For details regarding how Babergh and Mid Suffolk District Councils approaches Air Quality including current reports and data, please view our website at <https://www.babergh.gov.uk/environment/air-quality/>. It should be noted that any documentation submitted in relation to a planning application should be sent directly to the Development Management Team and not the Environmental Protection Team as this may lead to delays in the planning process

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

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-----Original Message-----

Sent: 03 November 2021 14:43

Subject: RE: MSDC Planning Re-consultation Request - DC/21/03874

Public Realm Officers have no objections to this application on the grounds of open space provision

Regards

Dave Hughes  
Public Realm Officer



11 October 2021

Rose Wolton  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

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*Thank you for requesting advice on this application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

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**Application:** DC/21/03874  
**Location:** Moat Meadow Finningham Road Old Newton Suffolk  
**Proposal:** Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

Dear Rose,

Thank you for re-consulting Place Services on the above application.

**No objection subject to securing ecological mitigation and enhancement measures**

**Summary**

We have reviewed the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021), the Ecology update (Geosphere Environmental Ltd, July 2021), the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021), The Biodiversity Net Gain Calculations (Geosphere Environmental Ltd, September 2021) and the Impact Assessment and Conservation Payment Certificate for Great Crested Newt, supplied by the applicant, relating to the likely impacts of development on designated sites, protected and Priority species & habitats.

We have also reassessed the Preliminary Ecological Appraisal (Geosphere Environmental Ltd, June 2016); Breeding Bird Survey (Geosphere Environmental Ltd, May 2018); Great Crested Newt Habitat Suitability Index Assessment (Geosphere Environmental Ltd, May 2018); Reptile Survey and Outline Mitigation Strategy (Geosphere Environmental Ltd, June 2018); and Bat Activity Survey (Geosphere Environmental Ltd, July 2018) supplied by the developer for the previously consented application.

We are satisfied that there is sufficient ecological information available for determination.





This provides certainty for the LPA of the likely impacts on designated sites, Protected and Priority Species & Habitats and, with appropriate mitigation measures secured, the development can be made acceptable.

The mitigation measures identified in the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021) and the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021) should be secured and implemented in full. This is necessary to conserve Protected and Priority Species.

It is highlighted that we note that the applicant intends to proceed under the District Level Licencing Scheme for Great Crested Newt and that a Impact Assessment and Conservation Payment Certificate countersigned by Natural England has been provided to the LPA. As a result, subject to this site being registered under a site licence, we are satisfied will comply with the requirements of the Conservation of Habitats and Species Regulations 2017 (As amended). However, a copy of the site licence registration should be secured as a condition of any consent and provided to the LPA prior to commencement.

We also recommend that a Wildlife Friendly Lighting Strategy is implemented for this application. Therefore, technical specification should be submitted prior to occupation, which demonstrates measures to avoid lighting impacts to foraging / commuting bats, which are likely present within the local area. This should summarise the following measures will be implemented:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Warm White lights should be used at <3000k. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- The provision of motion sensors or timers to avoid the amount of 'lit-time' of the proposed lighting.
- Lights should be designed to prevent horizontal spill e.g. cowls, hoods, reflector skirts or shields.

In addition, we have reviewed the Biodiversity Net Gain Calculations (Geosphere Environmental Ltd, September 2021) and can see that the development can secure measurable net gains for biodiversity, as outlined under Paragraph 174d and 180d of the National Planning Policy Framework 2021. The report outlines that a 3.12% increase in habitat units and a 75% increase of hedgerow units will be gained from the proposals. However, we do note that that Defra Biodiversity Metric Calculations indicate that the trading rules are not satisfied for the replacement of habitat with medium distinctiveness (-0.54). This is primarily due to the loss of bramble scrub habitat within the site, which typically requires 'the same broad habitat or a higher distinctiveness habitat' to meet the trading conditions. Therefore, whilst we are pleased that measurable net gains for biodiversity can be achieved in principle, we encourage the developer to also satisfy the Biodiversity Net Gain trading (Rule 3 of the Biodiversity Metrics 3.0) for this application.

Furthermore, it is indicated that we support the bespoke ecological enhancement measures outline within the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021). The finalised



measures should be outlined within the Landscape and Ecological Management Plan and should preferably also demonstrate Hedgehog friendly fencing throughout the site.

we support the proposed reasonable biodiversity enhancements, which have been recommended to.

This will enable LPA to demonstrate its compliance with its statutory duties including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013.

Submission for approval and implementation of the details below should be a condition of any planning consent.

### **Recommended conditions**

#### **1. ACTION REQUIRED IN ACCORDANCE WITH ECOLOGICAL APPRAISAL RECOMMENDATIONS**

*"All mitigation and enhancement measures and/or works shall be carried out in accordance with the details contained in the Ecological Impact Assessment (Geosphere Environmental Ltd, August 2021) and the Method Statement for Reptiles (Geosphere Environmental Ltd, July 2021) as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.*

*This may include the appointment of an appropriately competent person e.g. an ecological clerk of works (ECoW,) to provide on-site ecological expertise during construction. The appointed person shall undertake all activities, and works shall be carried out, in accordance with the approved details."*

**Reason:** To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

#### **2. ACTION REQUIRED PRIOR TO COMMENCEMENT: SUBMISSION OF A COPY OF NATURAL ENGLAND MITIGATION LICENCE FOR GREAT CRESTED NEWT**

*"No development shall take place (including any demolition, ground works, site clearance) until the local planning authority has been provided with either:*

- a) a licence issued by Natural England pursuant to Regulation 55 of The Conservation of Habitats and Species Regulations 2017 (as amended) authorizing the specified activity/development to go ahead; or*
- b) a GCN District Level Licence issued by Natural England pursuant to Regulation 55 of The Conservation of Habitats and Species Regulations 2017 (as amended) authorizing the specified activity/development to go ahead; or*
- c) a statement in writing from the Natural England to the effect that it does not consider that the specified activity/development will require a licence."*



**Reason:** To conserve protected species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 (as amended) and s17 Crime & Disorder Act 1998.

### **3. PRIOR TO COMMENCEMENT: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN FOR BIODIVERSITY**

*"A construction environmental management plan (CEMP: Biodiversity) shall be submitted to and approved in writing by the local planning authority.*

*The CEMP (Biodiversity) shall include the following.*

- a) Risk assessment of potentially damaging construction activities.*
- b) Identification of "biodiversity protection zones".*
- c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).*
- d) The location and timing of sensitive works to avoid harm to biodiversity features.*
- e) The times during construction when specialist ecologists need to be present on site to oversee works.*
- f) Responsible persons and lines of communication.*
- g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.*
- h) Use of protective fences, exclusion barriers and warning signs.*

*The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority"*

**Reason:** To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 (as amended) and s40 of the NERC Act 2006 (Priority habitats & species).

### **4. PRIOR TO OCCUPATION: LANDSCAPE AND ECOLOGICAL MANAGEMENT PLAN**

*"A Landscape and Ecological Management Plan (LEMP) shall be submitted to, and be approved in writing by, the local planning authority prior occupation of the development.*

*The content of the LEMP shall include the following:*

- a) Description and evaluation of features to be managed.*
- b) Ecological trends and constraints on site that might influence management.*
- c) Aims and objectives of management.*
- d) Appropriate management options for achieving aims and objectives.*
- e) Prescriptions for management actions.*
- f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).*
- g) Details of the body or organisation responsible for implementation of the plan.*



h) *Ongoing monitoring and remedial measures.*

*The LEMP shall also include details of the legal and funding mechanism(s) by which the long-term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details."*

**Reason:** To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 (as amended) and s40 of the NERC Act 2006 (Priority habitats & species)

**5. PRIOR TO OCCUPATION: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME**

*"A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.*

*All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority."*

**Reason:** To conserve protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

Please contact me with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**  
Ecological Consultant  
[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

09/11/2021

For the attention of: Rose Wolton

**Ref: DC/21/03874; Moat Meadow, Finningham Road, Old Newton, Suffolk**

Thank you for re-consulting is on the Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

Further to our previous letter a Landscape and Visual Assessment (LVA) has been produced, however it is missing the accompanying plans and details in Appendix A-C and Figures 1-7. The written portion does provide details of the identified constraints and proposed mitigation measures and concluded that the visual impact will be limited to the immediate vicinity and the proposed landscape scheme will be sufficient to mitigate any adverse impact. No changes in the proposed scheme layout have been noted in Revision D of the Landscape Masterplan following the LVA.

While we are satisfied that the site constraints have been considered we recommend that the missing sections be submitted prior to determination so that the LPA can be assured that impact has been fully identified and mitigated.

With regard to the landscape design of the proposed scheme there is currently insufficient information for a comprehensive response. We recommend that the landscape scheme submission should include:

- A **Landscape masterplan** showing areas of planting, hard landscape, physical and visual connection points with the wider landscape and any constraints such as easements, ecological offsets or corridors, changes to levels (contours or spot levels) etc.
- A **soft landscape scheme** including:
  - plan(s) showing the location and quantity of all plant materials (drawn to a scale of not less than 1:200)
  - a schedule of species, size, density and spacing of all trees, shrubs and hedgerows to be planted and details of areas to be grass, seeded or turfed including cultivation and other operations associated with establishment.

- A **hard landscape scheme** including plan(s) showing the location of
  - hard or otherwise paved surfaces, including the extent and specification for footways and kerbing, together with the type and specification of all permeable paving and asphalt surfaces (drawn to a scale of not less than 1:200)
  - all means of enclosure and all boundary treatments between individual plots, all boundary treatments around the perimeter of the site and all boundaries adjacent to the service road.
  - play equipment details and where necessary RoSPA approval of bespoke features.
- A **SuDS scheme** including plans showing contours, sections through the features and details of all soft and hard engineered elements such as inlets and outlets.

A Landscape Masterplan, Boundary Plan and some SuDS details have been submitted, below are our observations and recommendations:

- The key on the Illustrative Masterplan doesn't seem to fully correlate with the plan, we have assumed that the transplanted oak trees are those shown towards the eastern boundary within the native shrub planting. The current spacings indicated are too close and would create too much competition between the trees. Meaning that they are unlikely to reach their full potential for visual or ecological amenity. We recommend that the spacings be reviewed to take account of the mature size and spread of the species.
- Revision A of the Site Plan shows an Electricity Substation located adjacent to the access road north of plot 44 but is not shown on the submitted Landscape Masterplan. This is a visually prominent location when accessing the site by road or using the eastern POS and therefore should receive adequate screening.
- The use of parking courts should be avoided where at all possible. Where alternatives cannot be found they should be designed with security and safety in mind. Currently the parking courts have no active frontage.
- The boundary plan shows plot boundaries adjoining the parking courts as timber fenced. We would recommend that either significant planting is introduced or these are specified as 1.8m high walls.
- There are several private gardens which look to be small. We would recommend that gardens should be a minimum of 50sqm for a 2 bedroom dwelling.
- Table 1 Suggested Tree species found in the LVA lists *Prunus padus*, we would recommend that this species be removed from the planting mix and recommend that it be substituted with *Prunus avium*.
- We welcome the integration of SuDS on site. Typical sections and details have been provided for the SuDS features, though the design of the inlet and outlet and planting were not provided. Given the rural setting a standard approach of precast concrete and galvanised handrail for inlets/outlets should be avoided. To improve biodiversity the attenuation area should be combined with a range of vegetation types such as wildflowers and other nectar rich plants, grasses of various heights, drought tolerant species as well as marginal aquatics and wet grassland. Trees and shrubs can also be used where appropriate.

- The central attenuation areas is an engineered approach which may be better relocated to beneath one of the hard paved areas. This would then allow for additional planting or other amenity use to be provided year-round on the area and possible future development of the amenity offer on site.
- The slope of the western attenuation basin is identified as 1:4 which would not require the installation of a knee rail, as shown on the boundary plan and section.
- We would suggest that the inclusion of street trees be explored more fully to meet the recommendations set out in NPPF paragraph 131.
- A retaining wall is indicated on the Boundary Plan, though no details of proposed levels have been provided for this feature or the wider site.
- A flowering lawn mix should be used in place of amenity grass for areas within the public realm. Flowering lawns provide visual interest, improve biodiversity value, establish quickly and are easy to maintain long-term.
- Subject to ecological recommendations we suggest the below as an appropriate species mix for the site boundary:
  - 60% Hawthorn (*Crataegus monogyna*)
  - 20% Field maple (*Acer campestre*)
  - 10% Hazel (*Corylus Avellana*)
  - 5% Trees (wild cherry, oak or hornbeam)
  - 5% made of holly, spindle, crab apple, dogwood, blackthorn and guelder rose (only a few % each IF they are present in the locality).

A Landscape and Ecological Management Plan was included within the submission. It provides a good level of detail on design intention and the general management and maintenance of the landscape scheme, however we believe it would benefit from:

- A single maintenance task table which explains the maintenance duties across the site in both chronological and systematic order.
- Drawings showing:
  - The extent of the LMP; ie only showing the areas to which the LMP applies, areas of private ownership should be excluded
  - Where appropriate plans showing successional years of cutting ie 3 or 5 year rotations for meadow grass, marginal planting and thickets.

Notwithstanding the above recommendations, if minded for approval we suggest that the soft and hard landscape details are secured with an appropriate condition.

If you have any queries regarding the matters above, please do not hesitate to contact me.

Kind regards,

Kim Howell BA (Hons) DipLA CMLI  
Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils.** Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

**From:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Sent:** 29 Jul 2021 11:21:36

**To:**

**Cc:**

**Subject:** FW: DC/21/03874 Moat Meadow, Finningham Road, Old Newton

**Attachments:**

---

**From:** David Pizzey <David.Pizzey@baberghmidsuffolk.gov.uk>

**Sent:** 29 July 2021 10:31

**To:** Rose Wolton <Rose.Wolton@baberghmidsuffolk.gov.uk>

**Cc:** BMSDC Planning Area Team Yellow <planningyellow@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/03874 Moat Meadow, Finningham Road, Old Newton

Rose

I have no objection to this application subject to it being undertaken in accordance with the measures outlined in the accompanying arboricultural report, an appropriate condition should be used for this purpose. Although a number of trees are proposed for removal this is on account of their poor condition and not in order to enable development.

Kind regards

**David Pizzey** FArborA

Arboricultural Officer

Tel: 01449 724555

[david.pizzey@baberghmidsuffolk.gov.uk](mailto:david.pizzey@baberghmidsuffolk.gov.uk)

[www.babergh.gov.uk](http://www.babergh.gov.uk) and [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

Babergh and Mid Suffolk District Councils – Working Together

-----Original Message-----

**From:** [planningyellow@baberghmidsuffolk.gov.uk](mailto:planningyellow@baberghmidsuffolk.gov.uk) <[planningyellow@baberghmidsuffolk.gov.uk](mailto:planningyellow@baberghmidsuffolk.gov.uk)>

**Sent:** 16 July 2021 11:12

**To:** David Pizzey <[David.Pizzey@baberghmidsuffolk.gov.uk](mailto:David.Pizzey@baberghmidsuffolk.gov.uk)>

**Subject:** MSDC Planning Consultation Request - DC/21/03874

Please find attached planning consultation request letter relating to planning application - DC/21/03874 - Moat Meadow, Finningham Road, Old Newton, Suffolk

Kind Regards

Planning Support Team

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For more information on how we do this and your rights in regards to your personal information and how to access it, visit our website.



**From:** James Fadeyi

**Sent:** 03 November 2021 12:11

**Subject:** RE: DC/21/03874 Moat Meadow Finningham Road Old Newton

Good Afternoon,

Thank you for your email re-consultation on the reserved matters application DC/21/03874.

Waste services do not have no objection to this application.

Kind regards,

James Fadeyi

Waste Management Officer - Waste Services

Mid Suffolk and Babergh District Councils - Working Together

Our Ref: 21\_05001\_P  
Your Ref: DC/21/03874

9<sup>th</sup> August 2021

Dear Sir/Madam

**RE: Erection of 47 No. dwellings (16 No. affordable), together with open space, landscaping, earthworks and drainage at Moat Meadow, Finningham Road, Old Newton Suffolk**

The site is near to the Internal Drainage District (IDD) of the East Suffolk Internal Drainage Board (IDB) and is within the Board's Watershed Catchment (meaning water from the site will eventually enter the IDD). Maps are available on the Board's webpages showing the Internal Drainage District ([https://www.wlma.org.uk/uploads/ESIDB\\_Index\\_plan.pdf](https://www.wlma.org.uk/uploads/ESIDB_Index_plan.pdf)) as well as the wider watershed catchment ([https://www.wlma.org.uk/uploads/ESIDB\\_Watershed.pdf](https://www.wlma.org.uk/uploads/ESIDB_Watershed.pdf)).

I note that the applicant intends to discharge surface water to a watercourse within the watershed catchment of the Board's IDD. I'm pleased to see that this discharge is facilitated in line with [the Non-Statutory technical standards for sustainable drainage systems](#) (SuDS), specifically S2 and S4. We recommend that the discharge from this site is attenuated to the Greenfield Runoff Rates wherever possible.

The reason for our recommendation is to promote sustainable development within the Board's Watershed Catchment therefore ensuring that flood risk is not increased within the Internal Drainage District (required as per paragraph 163 of the [National Planning Policy Framework](#)). For further information regarding the Board's involvement in the planning process please see our [Planning and Byelaw Strategy](#), available online.

Kind Regards,

Will

William Chandler  
Sustainable Development Officer  
Water Management Alliance



Jane Marson (Chairman) Michael Paul (Vice-Chairman)  
Phil Camamile (Chief Executive)



Cert No. GB11990

Cert No. GB11991

## Planning Applications – Suggested Informative Statements and Conditions Report

If you would like to discuss any of the points in this document please contact us on 07929 786955 or email [planningliaison@anglianwater.co.uk](mailto:planningliaison@anglianwater.co.uk)

AW Site Reference: 177477/1/0127339

Local Planning Authority: Mid Suffolk District

Site: Moat Meadow Finningham Road Old Newton Suffolk

Proposal: Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage

Planning application: DC/21/03874

**Prepared by:** Pre-Development Team

**Date:** 28 July 2021

### ASSETS

#### Section 1 - Assets Affected

There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

### WASTEWATER SERVICES

#### Section 2 - Wastewater Treatment

The foul drainage from this development is in the catchment of Old Newton Water Recycling Centre that will have available capacity for these flows

### Section 3 - Used Water Network

This response has been based on the following submitted documents: Flood Risk Assessment. The sewerage system at present has available capacity for these flows. If the developer wishes to connect to our sewerage network they should serve notice under Section 106 of the Water Industry Act 1991. We will then advise them of the most suitable point of connection. (1) INFORMATIVE - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (2) INFORMATIVE - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (3) INFORMATIVE - Protection of existing assets - A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contacts Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted (without agreement) from Anglian Water. (4) INFORMATIVE - Building near to a public sewer - No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087. (5) INFORMATIVE: The developer should note that the site drainage details submitted have not been approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Sections 104 of the Water Industry Act 1991), they should contact our Development Services Team on 0345 606 6087 at the earliest opportunity. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water's requirements.

### Section 4 - Surface Water Disposal

The preferred method of surface water disposal would be to a sustainable drainage system (SuDS) with connection to sewer seen as the last option. Building Regulations (part H) on Drainage and Waste Disposal for England includes a surface water drainage hierarchy, with infiltration on site as the preferred disposal option, followed by discharge to watercourse and then connection to a sewer.

From the details submitted to support the planning application the proposed method of surface water management does not relate to Anglian Water operated assets. As such, we are unable to provide comments on the suitability of the surface water management. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented. The applicant has indicated on their application form that their method of surface water drainage is via SuDS. If the developer wishes Anglian Water to be the adopting body for all or part of the proposed SuDS scheme the Design and Construction Guidance must be followed. We would recommend the applicant contact us at the earliest opportunity to discuss their SuDS design via a Pre-Planning Strategic Enquiry. The Lead Local Flood Authority (LLFA) are a statutory consultee for all major development and should be consulted as early as possible to ensure the proposed drainage system meets with minimum operational standards and is beneficial for all concerned organisations and individuals. We promote the use of SuDS as a sustainable and natural way of controlling surface water run-off. We please find below our SuDS website link for further information.

<https://www.anglianwater.co.uk/developers/drainage-services/sustainable-drainage-systems/>

# Consultee Comments for Planning Application DC/21/03874

## Application Summary

Application Number: DC/21/03874

Address: Moat Meadow Finningham Road Old Newton Suffolk

Proposal: Full Planning Application - Erection of 47No. dwellings (16No. affordable), together with open space, landscaping, earthworks and drainage.

Case Officer: Rose Wolton

## Consultee Details

Name: Mrs Linda Hoggarth

Address: 26 Gipping Way, Bramford, Ipswich, Suffolk IP8 4HP

Email: Not Available

On Behalf Of: Mid Suffolk Disability Forum

## Comments

We would like to see a commitment to ensuring that all dwellings will meet Part M4 of the Building Regulations. All dwellings should be visitable and meet Part M4(1), and 50% of the dwellings should meet the 'accessible and adaptable' standard Part M4(2).

It is disappointing to note that there are no dwellings that meet the needs of people with mobility problems as there appear to be none with ground floor bedrooms. The statement that bungalows are 'land hungry' demonstrates a lack of consideration towards people who are wheelchair users or have mobility problems.

Every effort should be made to ensure all footpaths are wide enough for wheelchair users, with a minimum width of 1500mm, and that any dropped kerbs within the development are absolutely level with roads for ease of access.

Surfaces should be firm, durable and level. No loose gravel, cobbles or uneven setts should be used.

[margiehoffnung@thegardenstrust.org](mailto:margiehoffnung@thegardenstrust.org)

Research - Conserve - Campaign

6<sup>th</sup> August 2021

Rose Wolton  
Babergh District Council  
Endeavour House  
8 Russell Road  
Ipswich  
Suffolk IP1 2BX  
[planning@baberghmidsuffolk.gov.uk](mailto:planning@baberghmidsuffolk.gov.uk)

Dear Ms Wolton,

**Ref DC/21/03874 - Erection of 47 No. dwellings (16 No. affordable), together with open space, landscaping, earthworks and drainage. Moat Meadow, Finningham Road, Old Newton, Suffolk**

Further to our original response to an outline planning application for 56 houses on the above site in 2016 and a subsequent letter on 14<sup>th</sup> March 2018, we have been made aware of the above new application with a slightly reduced number of houses, by a local resident. Since our original correspondence, the moats have been listed as a Scheduled Ancient Monument which adds an even greater level of significance to an important historical site. Any building in the setting of this heritage asset and that of the Grade II listed Rookyard Farm, will have a very detrimental effect upon the setting and views back from and to the moat. The setting of the two heritage assets have always been extremely rural and this will be irretrievably altered by development.

We are glad to see that at least the proposing housing has been moved to the western side of the application site, leaving an area of open space to the south of the moats and most immediately sensitive area of heritage significance. We would however have expected to find a detailed Visual Impact Assessment (VIA) to accompany this application. The Planning Statement does contain some paragraphs (5.11-5.17) pertaining to this, but a VIA with view-points taken to and from within the setting of the SAM and Rookyard Farm, with wire frames indicating how visible the new housing would be, would have been extremely helpful to your officers when deciding this application.

Para 3.4 describes the materials to be used for the housing and Para 5.13 states that : *'There is no overriding character to the local area that would be determinative to the design of the development proposals. As such the materials proposed draw reference from the local area.'* We concur with the comments contained in Old Newton with Dagworth & Gipping Parish Council's report of 28<sup>th</sup> July : *'Cllrs believe that the designs of the proposed properties appear bland and non-interesting and not distinctive for a village development planned for that is next to an ancient monument and grade II listed farm setting heritage site. What is proposed is lacking in character and definitely not in keeping with our village or its historical feel.'* We would urge your officers to ensure that for development in such an important setting, enormous care is taken to make sure that if approved, the design of the detailed scheme is the best it could possibly be to mitigate at least some of the harm. Your officers will be better placed than the GT to suggest more suitable specific materials and we feel sure that you will be able to call on appropriate expertise to ensure that this aspect is properly attended to.

Yours sincerely,

Margie Hoffnung  
Conservation Officer

Philip Isbell – Chief Planning Officer  
Sustainable Communities

Mid Suffolk District Council  
Endeavour House, 8 Russell Road, Ipswich IP1 2BX

Website: [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)



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## OUTLINE PLANNING PERMISSION

TOWN AND COUNTRY PLANNING ACT 1990  
THE TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND)  
ORDER 2015

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**Correspondence Address:**

The Studio  
61 Hardwick Lane  
Bury St. Edmunds  
IP33 2RB

**Applicant:**

The Stearn Family Trust  
C/O Agent

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**Date Application Received:** 12-May-17

**Application Reference:** 1866/17

**Date Registered:** 13-May-17

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**Proposal & Location of Development:**

Outline planning application with Access, Landscaping and Layout to be considered for the erection of up to 56 dwellings with vehicular access from Finningham Road, Old Newton. Appearance and Scale to be the subject of a Reserved Matters application

Finningham Road, Old Newton, Suffolk,

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**Section A – Plans & Documents:**

This decision refers to drawing no./entitled 7129-01G received 25/01/2019 as the defined red line plan with the site shown edged red. Any other drawing showing land edged red whether as part of another document or as a separate plan/drawing has not been accepted or treated as the defined application site for the purposes of this decision.

The plans and documents recorded below are those upon which this decision has been reached:

Plans - Existing - Received 12/05/2017  
Block Plan - Existing - Received 12/05/2017  
Block Plan - Proposed - Received 12/05/2017  
Plans - Proposed site layout 1 of 3 7129-03 C - Received 12/07/2018  
Plans - Proposed site layout 2 of 3 7129-04 D - Received 12/07/2018  
Plans - Proposed site layout 3 of 3 7129-05 D - Received 12/07/2018  
Highway Access Plan Finningham Road junction visibility splays 7129-06 A - Received 12/07/2018  
Defined Red Line Plan 7129-01 G - Received 25/01/2019

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**Section B:**

Mid Suffolk District Council as Local Planning Authority, hereby give notice that **OUTLINE PLANNING PERMISSION HAS BEEN GRANTED** in accordance with the application particulars and plans listed in section A subject to the following conditions:

1. DEVELOPMENT RESTRICTED TO 47 UNITS

The development hereby approved shall be restricted to a maximum of 47 no. units.

Reason: For the avoidance of doubt as to the scope of this permission as the submission was originally described as being for 56 dwellings and this would constitute an overdevelopment of the site.

2. ACTION REQUIRED IN ACCORDANCE WITH A SPECIFIC TIMETABLE: TIME LIMIT FOR RESERVED MATTERS APPLICATION

Application for approval of reserved matters must be made not later than the expiration of three years beginning with the date of this permission, and the development must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates the final approval of the last such matter to be approved.

Reason - Required to be imposed pursuant to Section 92 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004

3. ACTION REQUIRED PRIOR TO COMMENCEMENT OF WORKS: PRE-COMMENCEMENT CONDITION: APPROVAL OF RESERVED MATTERS

Before any development is commenced, approval of the details of the appearance, scale and layout of the building(s), the means of access thereto and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained in writing from the Local Planning Authority.

Reason - To enable the Local Planning Authority to secure an orderly and well-designed development in accordance with the character and appearance of the neighbourhood and in accordance with the Development Plan. This condition is required to be agreed prior to the commencement of any development in accordance with proper planning principles to allow public engagement on the outstanding reserved matters and ensure no significant adverse harm results.

4. APPROVED PLANS & DOCUMENTS

The development hereby permitted shall be carried out in accordance with the drawings/documents listed under Section A above and/or such other drawings/documents as may be approved by the Local Planning Authority in writing pursuant to other conditions of this permission or such drawings/documents as may subsequently be approved in writing by the Local Planning Authority as a non-material amendment following an application in that regard.

Reason - For the avoidance of doubt and in the interests of proper planning of the development.



5. LANDSCAPE

Prior to the commencement of development, full details of the Landscaping as indicated on the drawings hereby approved shall be submitted to the Local Planning Authority to its satisfaction. Such details shall include a planting and maintenance regime to the Local Planning Authority's satisfaction and the scheme shall be carried out and maintained as agreed.

Reason: Whilst the broad layout of the proposed landscaping is largely satisfactory, the Local Planning Authority requires more information as to its details, in the interests of visual amenity and biodiversity.

6. RETENTION OF GARAGES

Garages shall only be used for the parking of vehicles and storage of household items.

Reason: To ensure an adequate supply of off-road parking in the interests of highway safety and efficiency.

7. CONCURRENT WITH RESERVED MATTERS: BIODIVERSITY MITIGATION METHOD STATEMENT

A Biodiversity Mitigation Method Statement, providing the proposed mitigation measures and/or works contained in the Preliminary Ecological Appraisal (Geosphere Environmental Ltd, June 2016); Breeding Bird Survey (Geosphere Environmental Ltd, May 2018); Great Crested Newt Habitat Suitability Index Assessment (Geosphere Environmental Ltd, May 2018); Reptile Survey and Outline Mitigation Strategy (Geosphere Environmental Ltd, June 2018); and Bat Activity Survey (Geosphere Environmental Ltd, July 2018), shall be submitted to and approved in writing by the local planning authority. The works shall be carried out strictly in accordance with the approved details and shall be retained in that manner thereafter."

Reason: To conserve Protected and Priority species and allow the LPA to discharge its duties under the UK Habitats Regulations 2017, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

8. PRIOR TO OCCUPATION: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME

A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed (through the provision of appropriate lighting contour plans, Isolux drawings and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory. All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason: To allow the LPA to discharge its duties under the UK Habitats Regulations 2017, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

9. PRIOR TO OCCUPATION: LANDSCAPE ENVIRONMENTAL MANAGEMENT PLAN

A Landscape and Ecological Management Plan (LEMP) shall be submitted to, and be approved in writing by, the local planning authority prior occupation of the development.

The content of the LEMP shall include the following.

- a) Description and evaluation of features to be managed, including details and locations of biodiversity enhancement measures.
- b) Ecological trends and constraints on site that might influence management.
- c) Aims and objectives of management.
- d) Appropriate management options for achieving aims and objectives.
- e) Prescriptions for management actions.
- f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period).
- g) Details of the body or organization responsible for implementation of the plan.
- h) Ongoing monitoring and remedial measures.

The LEMP shall also include details of the legal and funding mechanism(s) by which the long term implementation of the plan will be secured by the developer with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme. The approved plan will be implemented in accordance with the approved details.

Reason: To allow the LPA to discharge its duties under the UK Habitats Regulations, the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

10. SURFACE WATER DRAINAGE1

Concurrent with the first reserved matters application(s) a surface water drainage scheme shall be submitted to, and approved in writing by, the local planning authority. The scheme shall be in accordance with the approved FRA and include:

- a. Dimensioned plans and drawings of the surface water drainage scheme;
- b. As the use of infiltration is not possible then modelling shall be submitted to demonstrate that the surface water runoff will be restricted to  $Q_{bar}$  or 2l/s/ha for all events up to the critical 1 in 100 year rainfall events including climate change as specified in the FRA;
- c. Modelling of the surface water drainage scheme to show that the attenuation/infiltration features will contain the 1 in 100 year rainfall event including climate change;
- d. Modelling of the surface water conveyance network in the 1 in 30 year rainfall event to show no above ground flooding, and modelling of the volumes of any above ground flooding from the pipe network in a 1 in 100 year climate change rainfall event, along with topographic plans showing where the water will flow and be stored to ensure no flooding of buildings or offsite flows;
- e. Topographical plans depicting all exceedance flowpaths and demonstration that the flows would not flood buildings or flow offsite, and if they are to be directed to the surface water drainage system then the potential additional rates and volumes of surface water must be included within the modelling of the surface water system;

The scheme shall be fully implemented as approved.

Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development.

11. SURFACE WATER DRAINAGE2

Concurrent with the first reserved matters application(s) details of the implementation, maintenance and management of the surface water drainage scheme shall be submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

12. SUDS

The development hereby permitted shall not be occupied until details of all Sustainable Urban Drainage System components and piped networks have been submitted, in an approved form, to and approved in writing by the Local Planning Authority for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register as per s21 of the Flood and Water Management Act

13. CONSTRUCTION SURFACE WATER MANAGEMENT

No development shall commence until details of a construction surface water management plan detailing how surface water and storm water will be managed on the site during construction is submitted to and agreed in writing by the local planning authority. The construction surface water management plan shall be implemented and thereafter managed and maintained in accordance with the approved plan.

Reason: To ensure the development does not cause increased pollution of the watercourse in line with the River Basin Management Plan.

14. HIGHWAYS CONDITION 1

Prior to the new dwellings hereby permitted being first occupied, the driveways and accesses onto the new estate road shall be properly surfaced with a bound material for a minimum distance of at least 8 metres from the edge of the metalled carriageway, in accordance with details previously submitted to and approved in writing by the local planning authority.

Reason: To secure appropriate improvements to the vehicular access in the interests of highway safety.

15. HIGHWAYS CONDITION 2

Prior to the access being constructed the ditch beneath the proposed access shall be piped or bridged in accordance with details which previously shall have been submitted to

and approved in writing by the Local Planning Authority and shall be retained thereafter in its approved form.

Reason: To ensure uninterrupted flow of water and reduce the risk of flooding of the highway.

16. HIGHWAYS CONDITION 3

Before the development is commenced, details of the estate roads and footpaths, (including layout, levels, gradients, surfacing and means of surface water drainage), shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that roads/footways are constructed to an acceptable standard.

17. HIGHWAYS CONDITION 4

No dwelling shall be occupied until the carriageways and footways serving that dwelling have been constructed to at least Binder course level or better in accordance with the approved details except with the written agreement of the Local Planning Authority.

Reason: To ensure that satisfactory access is provided for the safety of residents and the public.

18. HIGHWAYS CONDITION 5

Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order with or without modification) no direct means of vehicular access shall be constructed from Silver Street to the site.

Reason: In the interests of highway safety to ensure accesses are located at an appropriate position and/or to avoid multiple accesses which would be detrimental to highway safety.

19. HIGHWAYS CONDITION 6

The use shall not commence until the area(s) within the site shown on Drawing Number 7129/01/D as submitted for the purposes of manoeuvring and parking of vehicles has been provided and thereafter that area(s) shall be retained and used for no other purposes.

Reason: To ensure that sufficient space for the on-site parking of vehicles is provided and maintained in order to ensure the provision of adequate on-site space for the parking and manoeuvring of vehicles where on-street parking and manoeuvring would be detrimental to highway safety to users of the highway.

20. HIGHWAYS CONDITION 7

Before the access is first used visibility splays shall be provided as shown on Drawing No. 7129/06 as submitted and thereafter retained in the specified form. Notwithstanding the provisions of Part 2 Class A of the Town & Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order with or

without modification) no obstruction over 0.6 metres high shall be erected, constructed, planted or permitted to grow within the areas of the visibility splays.

Reason: To ensure vehicles exiting the drive would have sufficient visibility to enter the public highway safely and vehicles on the public highway would have sufficient warning of a vehicle emerging in order to take avoiding action.

## 21. FOOTWAY PROVISION

Before any of the hereby approved dwellings are first occupied the Finningham Road frontage footway shall be provided linking the site with the with the existing footway to the south as shown on the submitted Drawing Number 7129/06.

Reason: To ensure that there is a safe pedestrian link between the development site and the existing footways on Finningham Road.

## 22. ARCHAEOLOGY 1

No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording.
- b. The programme for post investigation assessment.
- c. Provision to be made for analysis of the site investigation and recording.
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation.
- e. Provision to be made for archive deposition of the analysis and records of the site investigation.
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

## 23. ARCHAEOLOGY 2

No building shall be occupied until the site investigation and post investigation assessment has been completed, submitted to and approved in writing by the Local Planning Authority, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

Reason: To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).

24. TREE PROTECTION

Works shall comply with the submitted Tree Protection Plan 5517-D rev B.

Reason: In order to ensure the long-term viability of the retained trees on site.

25. ARBORICULTURAL METHOD STATEMENT

Concurrent with the reserved matters application, a detailed Arboricultural Method Statement shall be submitted to the Local Planning Authority's satisfaction and the development shall comply with the details therein.

Reason: In order to help ensure the protective measures referred to within the submitted Tree Protection Plan are implemented effectively.

26. UNEXPECTED CONTAMINATION

If the applicant should encounter any unexpected contamination during construction, the minimum precautions detailed in the informatives attached herein shall be undertaken until such time as the LPA responds to the notification.

Reason: In the interests of preventing harm from any unexpected contamination.

27. PARKING SPACE EXCLUDED

Notwithstanding the details of the plans hereby approved, the parking space at Plot 25 which interferes with the turning head is hereby excluded.

Reason: In order to ensure a safe and efficient working of the Highway.

28. HYDROLOGICAL STUDY

Prior to the commencement of development, a hydrological study shall take place to monitor water levels in the moat, the results of which shall be sent to the Local Planning Authority (LPA). Following completion of the development, an updated study shall take place, the results of which shall also be sent to the LPA. Such monitoring and provision of information shall continue annually for five years following completion of the development and the developer will be asked to take remediative action should this be necessary.

Reason: To prevent harm to the adjacent moat (which is a Scheduled Ancient Monument) from a change in the water levels caused by the development, as too much water would potentially cause issues of flooding and erosion and too little would mean it would dry up and cease to be a moat.

**SUMMARY OF POLICIES WHICH ARE RELEVANT TO THE DECISION:**

CS01 - Settlement Hierarchy

CS03 - Reduce Contributions to Climate Change  
CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment  
CS06 - Services and Infrastructure  
CS09 - Density and Mix  
CL11 - Retaining high quality agricultural land  
FC03 - Supply Of Employment Land  
FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development  
SAAP - Stowmarket Area Action Plan  
GP01 - Design and layout of development  
H13 - Design and layout of housing development  
H15 - Development to reflect local characteristics  
H16 - Protecting existing residential amenity  
T10 - Highway Considerations in Development  
FC02 - Provision And Distribution Of Housing  
H07 - Restricting housing development unrelated to needs of countryside  
H14 - A range of house types to meet different accommodation needs  
H17 - Keeping residential development away from pollution  
T09 - Parking Standards  
RT04 - Amenity open space and play areas within residential development  
RT12 - Footpaths and Bridleways  
RT13 - Water-based Recreation  
CL08 - Protecting wildlife habitats

## NOTES:

### 1. **Statement of positive and proactive working in line with the National Planning Policy Framework (NPPF)**

The proposal has been assessed with regard to adopted development plan policies, the National Planning Policy Framework and all other material considerations. The NPPF encourages a positive and proactive approach to decision taking, delivery of sustainable development, achievement of high quality development and working proactively to secure developments that improve the economic, social and environmental conditions of the area. While the applicant did not take advantage of the service, the Council provides a pre-application advice service prior to the submission of any application. The opportunity to discuss a proposal prior to making an application allows potential issues to be raised and addressed pro-actively at an early stage, potentially allowing the Council to make a favourable determination for a greater proportion of applications than if no such service was available.

### 2. HIGHWAYS INFORMATIVES

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority. Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense. The County Council's Central Area Manager must be contacted on Telephone: 01473 341414.

Further information go to: <https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/>

A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

3. Public Utility apparatus may be affected by this proposal. The appropriate utility service should be contacted to reach agreement on any necessary alterations which have to be carried out at the expense of the developer. Those that appear to be affected are telegraph pole and stay to Finningham Road which need to be relocated. There is also overhead cables and a transformer at the Silver Street end of the site.
4. The proposal will require the piping of a ditch. As the proposal requires work affecting an ordinary watercourse, including a ditch, whether temporary or permanent, then consent will be required from Suffolk County Councils' Flood and Water Management team. Application forms are available from the SCC website:

<http://www.suffolk.gov.uk/environment-and-transport/planning-and-buildings/land-drainage>. Applications for consent may take up to 8 weeks to determine and will incur an additional fee.

5. The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate Roads.
6. The existing street lighting system may be affected by this proposal. The applicant must contact the Street Lighting Engineer of Suffolk County Council, telephone 01284 758859, in order to agree any necessary alterations/additions to be carried out at the expense of the developer.
7. ANGLIAN WATER

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

#### 8. ARCHAEOLOGY

The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.

The team would be pleased to offer guidance on the archaeological work required and, in its role as advisor to Mid Suffolk District Council, the Conservation Team of SCC Archaeological Service will, on request of the applicant, provide a specification for the archaeological investigation. In this case, an archaeological evaluation, consisting of a geophysical survey and trial trenched evaluation, will be required to establish the potential of the site and decisions on the need for any further investigation (excavation before any



groundworks commence and/or monitoring during groundworks) will be made on the basis of the results of the evaluation.

## 9. UNEXPECTED CONTAMINATION

1. All site works at the position of the suspected contamination will stop and the Local Planning Authority and Environmental Health Department will be notified as a matter of urgency. 2. A suitably trained geo-environmental engineer should assess the visual and olfactory observations of the ground and the extent of contamination and the Client and the Local Authority should be informed of the discovery. 3. The suspected contaminated material will be investigated and tested appropriately in accordance with assessed risks. The investigation works will be carried out in the presence of a suitably qualified geo-environmental engineer. The investigation works will involve the collection of solid samples for testing and, using visual and olfactory observations of the ground, delineate the area over which contaminated materials are present. 4. The unexpected contaminated material will either be left in situ or be stockpiled (except if suspected to be asbestos) whilst testing is carried out and suitable assessments completed to determine whether the material can be re-used on site or requires disposal as appropriate. 5. The testing suite will be determined by the independent geo-environmental specialist based on visual and olfactory observations. 6. Test results will be compared against current assessment criteria suitable for the future use of the area of the site affected. 7. Where the material is left in situ awaiting results, it will either be reburied or covered with plastic sheeting. 8. Where the potentially contaminated material is to be temporarily stockpiled, it will be placed either on a prepared surface of clay, or on 2000-gauge Visqueen sheeting (or other impermeable surface) and covered to prevent dust and odour emissions. 9. Any areas where unexpected visual or olfactory ground contamination is identified will be surveyed and testing results incorporated into a Verification Report. 10. A photographic record will be made of relevant observations. 11. The results of the investigation and testing of any suspect unexpected contamination will be used to determine the relevant actions. After consultation with the Local Authority, materials should either be: o re-used in areas where test results indicate that it meets compliance targets so it can be re-used without treatment; or o treatment of material on site to meet compliance targets so it can be re-used; or o removal from site to a suitably licensed landfill or permitted treatment facility. 12. A Verification Report will be produced for the work.

Babergh and Mid Suffolk District Councils have adopted Community Infrastructure Levy (CIL) charging which affects planning permissions granted on or after 11th April 2016 and permitted development commenced on or after 11th April 2016. If your development is for the erection of a new building, annex or extension or the change of use of a building over 100sqm in internal area or the creation of a new dwelling or holiday let of any size your development may be liable to pay CIL and you must submit relevant documents to our Infrastructure Team telling us more about your development, who will pay CIL and when the development will start. You will receive advice on the amount you have to pay and what you have to do and you can find more information about CIL on our websites here:

[CIL in Babergh](#) and [CIL in Mid Suffolk](#) or by contacting the Infrastructure Team on: [infrastructure@baberghmidsuffolk.gov.uk](mailto:infrastructure@baberghmidsuffolk.gov.uk)

This relates to document reference: 1866/17

**Signed: Philip Isbell**

**Dated: 28th October 2019**

**Chief Planning Officer  
Sustainable Communities**

## **Important Notes to be read in conjunction with your Decision Notice**

### **Please read carefully**

This decision notice refers only to the decision made by the Local Planning Authority under the Town and Country Planning Acts and DOES NOT include any other consent or approval required under enactment, bylaw, order or regulation.

**Please note: depending upon what conditions have been attached to the decision, action may be required on your part before you can begin your development.** Planning conditions usually require that you write to the Local Planning Authority and obtain confirmation that you have discharged your obligations. You should read your decision notice in detail and make a note of the requirements placed on you by any conditions. **If you proceed with your development without complying with these conditions you may invalidate your permission and put your development at risk.**

### **Discharging your obligations under a condition:**

You should formally apply to discharge your conditions and the relevant application forms are available on the Council's website. The Local Planning Authority has 8 weeks to write to you after you submit the details to discharge your conditions. You should always account for this time in your schedule as the Local Planning Authority cannot guarantee that conditions can be discharged quicker than this. A fee is applicable for the discharge of planning conditions.

### **Building Control:**

You are reminded that the carrying out of building works requires approval under the Building Regulations in many cases as well as a grant of planning permission. If you are in doubt as to whether or not the work, the subject of this planning permission, requires such approval, then you are invited to contact the Building Control Section of Babergh and Mid Suffolk District Councils.

## Appeals to the Secretary of State

1. If the applicant is aggrieved by the decision of the Local Planning Authority to refuse permission or consent, or to grant permission or consent subject to condition, they may appeal to the Secretary of State for Communities and Local Government. The applicant's right of appeal is in accordance with the appropriate statutory provisions which follow:

Planning Applications: Section 78 Town and Country Planning Act 1990

Listed Building Applications: Section 20 Planning (Listed Buildings and Conservation Areas) Act 1990

Advertisement Applications: Section 78 Town and Country Planning Act 1990  
Regulation 15

Town and Country Planning (Control of Advertisements) Regulations 2007

Notice of appeal in the case of applications for advertisement consent must be served within eight weeks of receipt of this notice. Notice of Householder and Minor Commercial Appeals must be served within 12 weeks, in all other cases, notice of appeal must be served within six months of this notice. If this is a decision on a planning application relating to the same or substantially the same land and development as is already the subject of an enforcement notice, if you want to appeal against your local planning authority's decision on your application, then you must do so within 28 days of the date of this notice. If an enforcement notice is served relating to the same or substantially the same land and development as in your application and if you want to appeal against your local planning authority's decision on your application, then you must do so within: 28 days of the date of service of the enforcement notice, or within six months of the date of this notice, whichever period expires earlier.

Appeals must be made on a form which is obtainable from The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN or online at <https://www.gov.uk/government/publications/modelnotification-notice-to-be-sent-to-an-applicant-when-permission-is-refused>

The Secretary of State has power to allow a longer period for the giving of a notice of appeal but he/she will not normally be prepared to exercise this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State is not required to entertain an appeal if it appears to him/her that permission for the proposed development could not have been granted by the Local Planning Authority, or could not have been so granted otherwise than subject to the conditions imposed by it, having regard to the statutory requirements\*, to the provisions of the Development Order, and to any directions given under the Order. The Secretary of State does not in practice refuse to entertain appeals solely because the decision of the Local Planning Authority was based on a direction given by him/her.

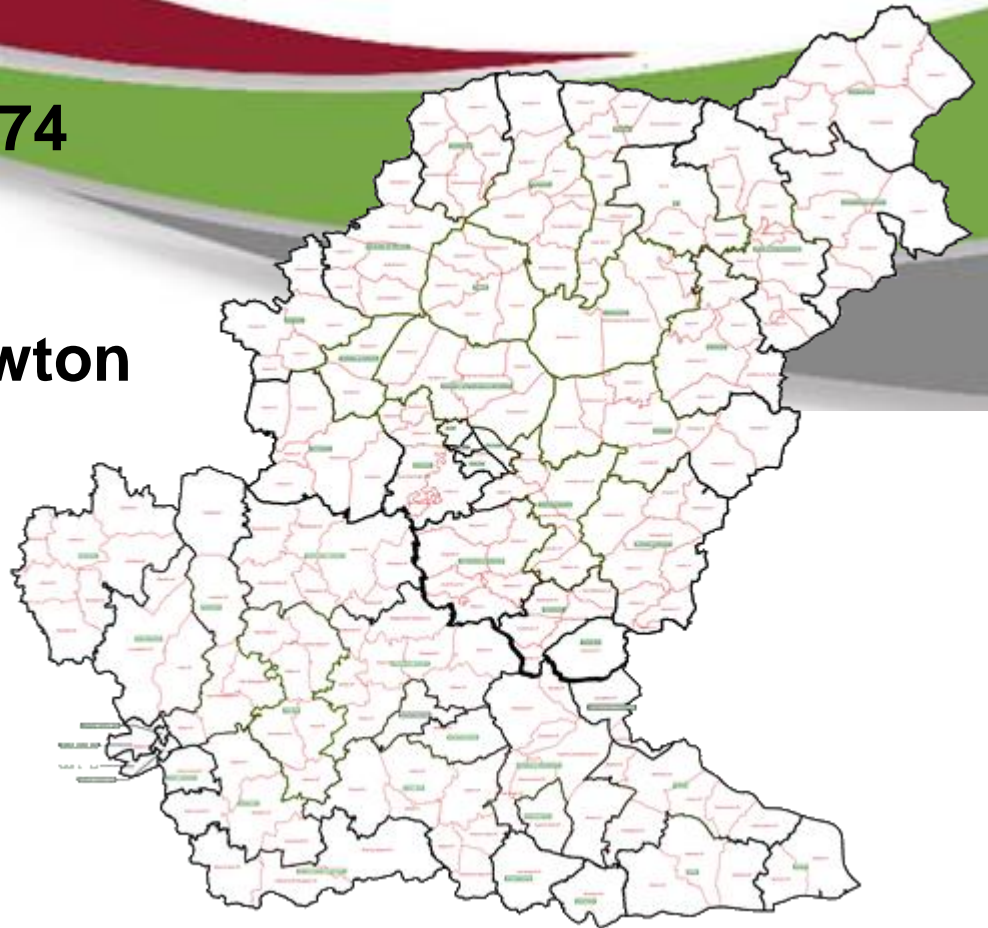
2. If permission or consent to develop land or carry out works is refused or granted subject to conditions, whether by the Local Planning Authority or by the Secretary of State and the owner of the land claims that the land has become incapable of reasonable beneficial use by the carrying out of any development or works which has been or would be permitted they may serve on the Council of the district in which the land is situated, a purchase notice requiring the Council to purchase his interest in the land in accordance with the provisions of Section 137 of the Town and Country Planning Act 1990 or Section 32 Planning (Listed Buildings and Conservation Areas) Act 1990.

\*The statutory requirements are those set out in Section 79(6) of the Town and Country Planning Act 1990, namely Sections 70 and 72(1) of the Act.

**Application No: DC/21/03874**

**Address: Moat Meadow,  
Finningham Road, Old Newton**

Page 285





## Aerial Map – wider view

Slide 3



Page 297

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# Site Location Plan

Slide 4



Page 288



- All rights reserved in respect of the copyright, designs and content, act 1988 have been previously assigned.
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- All dimensions are in millimetres, all levels are in metres, unless stated otherwise.
- Any discrepancies in dimensions or details on or between these drawings/specifications should be drawn to the attention of the client before and of the engineer in writing for clarification.
- Drawings prepared solely for the use of detail, as standards but not, and is not to be copied, lent or used by any third party without written permission.

A SOUTHERN BOUNDARY ALTERED 10/21  
Rev

**CJA**rchitect Ltd

o fakenham, wyke road, giffingham, sp. eng  
m 07771 521144  
e cja@cjast.co.uk

land off FINNINGHAM ROAD  
OLD NEWTON  
SUFFOLK

**KEEPMOAT HOMES**

SITE LOCATION PLAN




1:1000 @ A1 june '21

DWG REF. Rev.  
21.012-cja-xx-dr-A-01-site location A








# Constraints Map

**Listed Buildings**

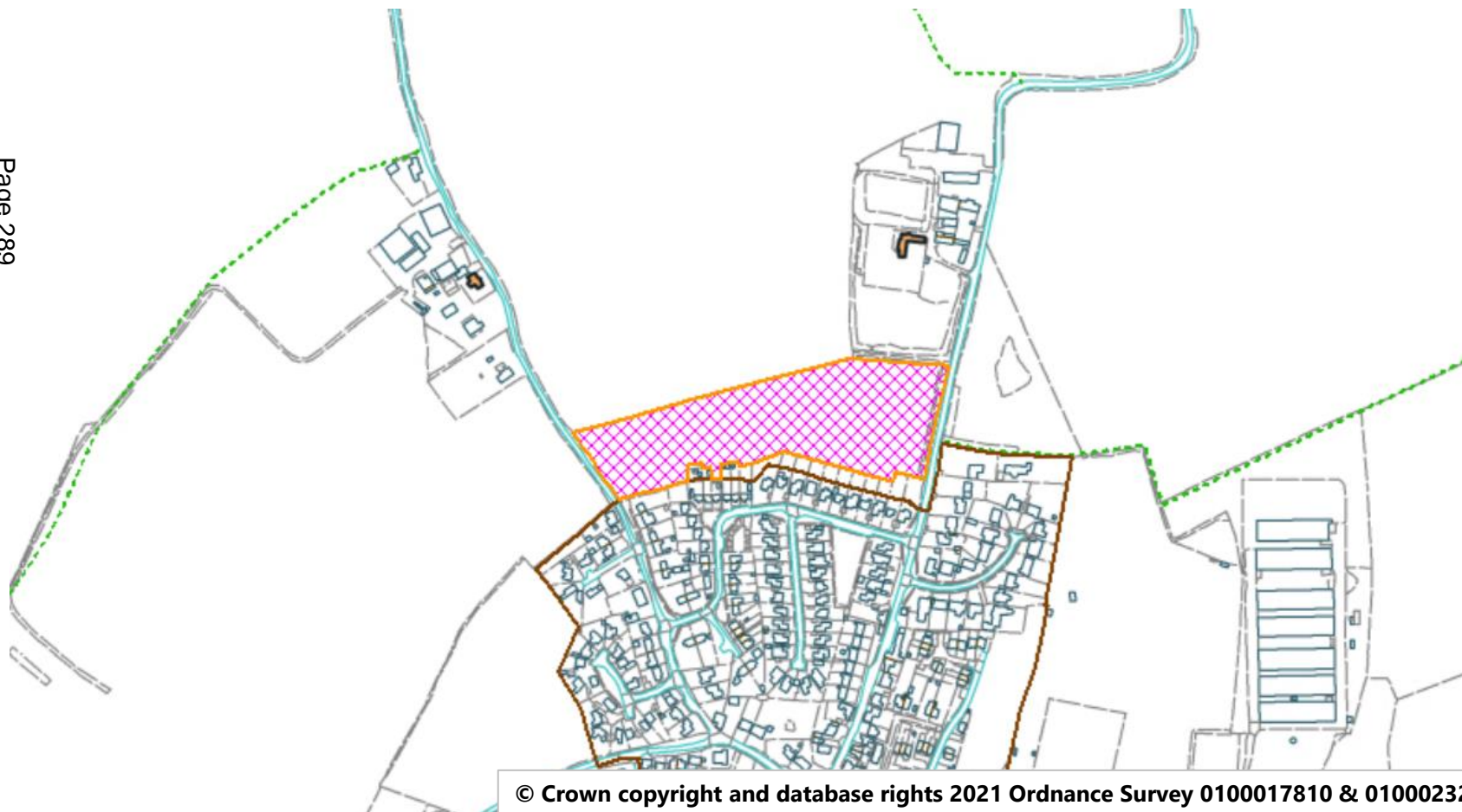
-  Grade I
-  Grade II
-  Grade II\*

**Public Rights of Way**

-  Footpath
-  Bridleway
-  Restricted Byway
-  Byway Open to All Traffic

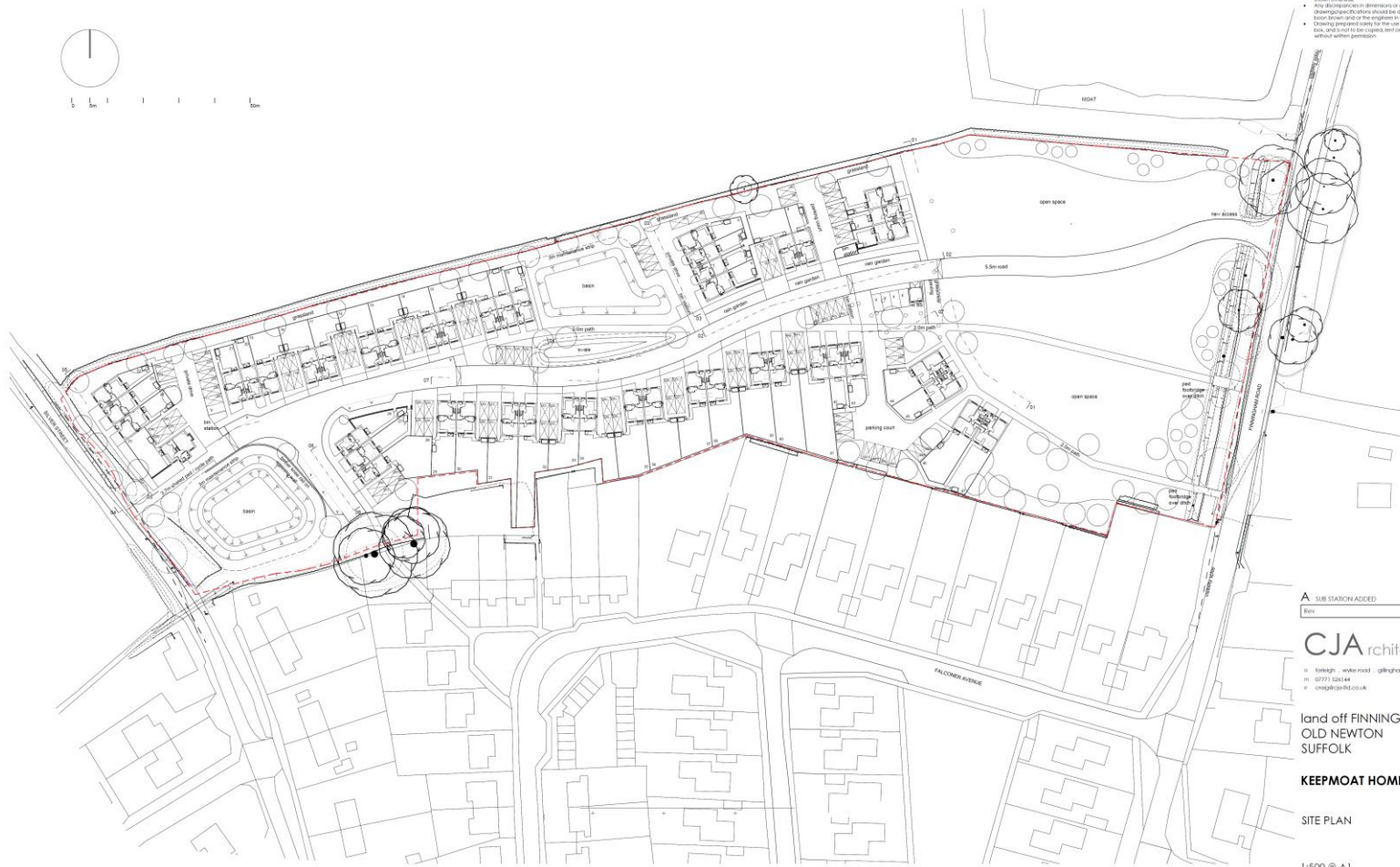
 Built Up Area Boundaries

Page 289





Page 290



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A	SUB STATION ADDED	09/21
Rev		

**CJA**rchitect Ltd  
 a. farsleigh, wyke road, giffingham, suff. eng  
 m. 01773 526144  
 e. cja@cjaarchitect.co.uk

land off FINNINGHAM ROAD  
 OLD NEWTON  
 SUFFOLK

**KEEPMOAT HOMES**

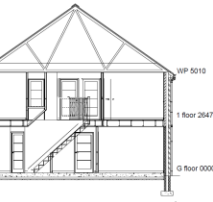
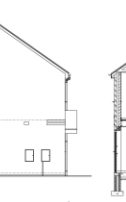
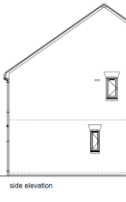
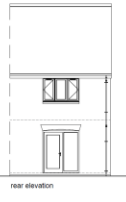
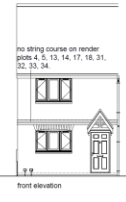
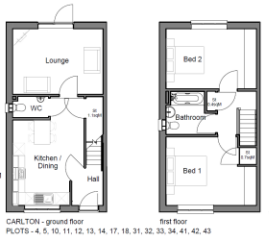
SITE PLAN

1:500 @ A1	June '21
DWG REF.	REV.
21.012-cja-xx-dr-A-10-site plan	A



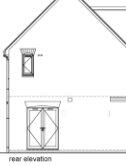
# Proposed Plans And Elevations

**NDBS compliance:**  
Occupancy: 2b4p  
Measured floor area: 79.04sqM  
NDBS threshold: 75sqM  
Built-in storage provision: 2.2sqM  
Bedroom 1 floor area: 13.5sqM  
Bedroom 2 floor area: 13.4sqM



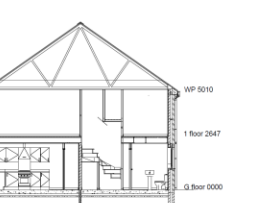
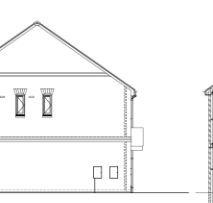
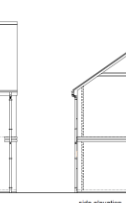
CARLTON - ground floor  
PLOTS - 4, 6, 10, 11, 12, 13, 14, 17, 18, 31, 32, 33, 34, 41, 42, 43

**NDBS compliance:**  
Occupancy: 3b5p  
Measured floor area: 94.31sqM  
NDBS threshold: 75sqM  
Built-in storage provision: 2.5sqM  
Bedroom 1 floor area: 11.5sqM  
Bedroom 2 floor area: 11.5sqM  
Bedroom 3 floor area: 7.5sqM



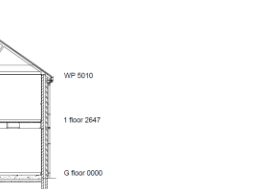
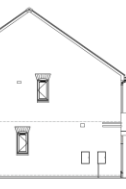
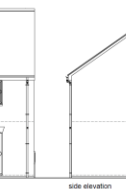
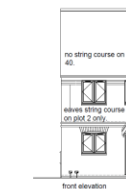
FOXHILL - ground floor  
PLOTS - 25

**NDBS compliance:**  
Occupancy: 4b7p  
Measured floor area: 106.32sqM  
NDBS threshold: 105sqM  
Built-in storage provision: 3.3sqM  
Bedroom 1 floor area: 11.5sqM  
Bedroom 2 floor area: 11.5sqM  
Bedroom 3 floor area: 7.5sqM  
Bedroom 4 floor area: 7.5sqM



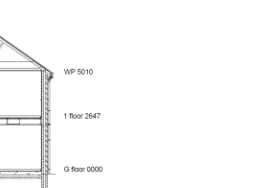
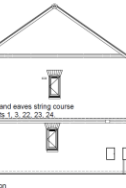
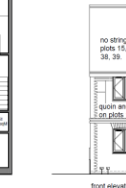
LAMBETH - ground floor  
PLOTS - 44, 45, 46, 47

**NDBS compliance:**  
Occupancy: 2b3p  
Measured floor area: 70.30sqM  
NDBS threshold: 70sqM  
Built-in storage provision: 2.2sqM  
Bedroom 1 floor area: 12.5sqM  
Bedroom 2 floor area: 11.3sqM



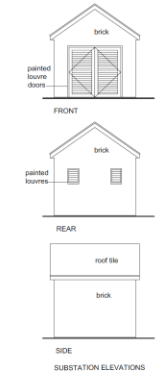
PIXTON - ground floor  
PLOTS - 2, 7, 8, 20, 26, 28, 40

**NDBS compliance:**  
Occupancy: 3b4p  
Measured floor area: 84.56sqM  
NDBS threshold: 84sqM  
Built-in storage provision: 2.5sqM  
Bedroom 1 floor area: 13.5sqM  
Bedroom 2 floor area: 8.8sqM  
Bedroom 3 floor area: 7.5sqM



SOVEREY - ground floor  
PLOTS - 1, 3, 6, 9, 15, 16, 19, 21, 22, 23, 24, 27, 29, 30, 35, 36, 37, 38, 39

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- Where any drawing is to be used in conjunction with another including specialist, the two drawings shall be cross checked and any discrepancies reported to the architect before the work is in hand
- All dimensions are in millimetres, all work is in metric, unless otherwise stated
- Any discrepancies in dimensions or details on or between these drawings/specifications should be drawn to the attention of the floor finish and/or the engineer in writing for clarification
- Drawing prepared solely for the use of client or intended in part for use in the construction or used by any third party without written permission



A ELEVATION DESIGNS AMENDED, SUB-STATION ADDED 09/21

CJA rchitect ltd

11 Southgate, Woking Road, Billesden, Spelthorpe, Middlesex, TW20 2JH  
Tel: 0207 226144  
Email: cja@cja-rchitect.co.uk

FINNINGHAM ROAD  
OLD NEWTON  
SUFFOLK

KEEPMOAT HOMES

house plans

1:100 @ A1  
DWG REF: 21.012-cja-xx-dr-A-15-house plans  
Rev. A

# Street Scene 1



and any other specific material to the architect/contractor the  
 2025 100% 100% - complete, all work on site, unless stated  
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 the architect/contractor is to provide all materials from  
 other of the architect/contractor is to provide all materials from  
 other of the architect/contractor is to provide all materials from



A MATERIAL & CAPACITY DESIGN CHANGES (REV)

CJA architect Ltd

12, Langley, Waterlooville, Hampshire, PO15 5EP  
 01703 521212  
 www.cjarchitect.co.uk

FINNINGHAM ROAD  
 OLD NEWTON  
 SUFFOLK

**KEEPMOAT HOMES**

STREET ELEVATIONS SH1

1:100 @ A1 June '21

DATE: 21/01/21

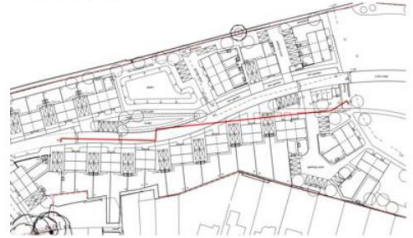
21.012-cjp-xx-01-A-2D-street elevs A

©cjomason





- All elevations are shown in a context of a blue sky and green hills.
- All elevations are shown in a context of a blue sky and green hills.
- All elevations are shown in a context of a blue sky and green hills.
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- All elevations are shown in a context of a blue sky and green hills.



**A MATERIAL & CANOPY DESIGN CHANGES** (REV)

**CJArchitect Ltd**  
 11, FINESTOCK ROAD, GILFINGHAM, IP11 4JG  
 01793 324100  
 info@cjarchitect.co.uk

**FINNINGHAM ROAD  
 OLD NEWTON  
 SUFFOLK**

**KEEPMOAT HOMES**

STREET ELEVATIONS SH1 3

1:100 @ A1 June '21

21.012-cjp-xx-dr-A-22-street elevs A

Page 296



Any existing vegetation within red-belted areas (indicated by separate applications to be removed back or retained)

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Finningham Road,  
 Stowmarket  
**Illustrative Landscape  
 Masterplan**

Drawing title: P21-1404\_01-D  
 Client: Keepmoat Homes  
 Date: 24/08/2021  
 Drawn by: NE  
 Checked by: LW  
 Scale: 1 : 500 @ A1





# Agenda Item 6c

## Officer Report

**Item No:** 6C

**Reference:** DC/21/04358

**Case Officer:** Vincent Pearce, Averil Goudy

**Ward:** Blakenham.

**Ward Member/s:** Cllr John Field.

---

## **RECOMMENDATION – THAT THE CHIEF PLANNING OFFICER APPROVE RESERVED MATTERS WITH CONDITIONS**

---

### **Description of Development**

Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

### **Location**

Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Expiry Date:** 03/11/2021

**Application Type:** RES - Reserved Matters

**Development Type:** Major Large Scale - Manu/Ind/Storage/Warehouse

**Applicant:** Curzon de Vere

**Agent:** The JTS Partnership

**Parish:** Great Blakenham

**Details of Previous Committee / Resolutions and any member site visit:** None

**Has a Committee Call In request been received from a Council Member (Appendix 1):** No

**Has the application been subject to Pre-Application Advice:** No

---

## **PART ONE – POLICIES AND CONSULTATION SUMMARY**

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### **Summary of Policies**

The Adopted Development Plan for Mid Suffolk District Council comprises the Mid Suffolk Core Strategy Focused Review (2012), the Mid Suffolk Core Strategy (2008) and the Mid Suffolk Local Plan (1998), specifically the live list of 'saved policies' (2007). The following are considered the most relevant to the determination of this proposal.

NPPF - National Planning Policy Framework

Adopted Mid Suffolk Core Strategy (2008)

CS01 - Settlement Hierarchy

CS02 - Development in the Countryside & Countryside Villages  
CS03 - Reduce Contributions to Climate Change  
CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment

Adopted Mid Suffolk Core Strategy Focused Review (2012)

FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development  
FC03 - Supply Of Employment Land

Adopted Mid Suffolk Local Plan (1998)

GP01 - Design and layout of development  
SB02 - Development appropriate to its setting  
H17 - Keeping residential development away from pollution  
CL08 - Protecting wildlife habitats  
CL09 - Recognised wildlife areas  
CL11 - Retaining high quality agricultural land  
E03 - Warehousing, storage, distribution and haulage depots  
E04 - Protecting existing industrial/business areas for employment generating uses  
E06 - Retention of use within existing industrial/commercial areas  
E09 - Location of new businesses  
E10 - New Industrial and commercial development in the countryside  
E11 - Re-use and adaption of agricultural and other rural buildings  
E12 - General principles for location, design and layout  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
T11 - Facilities for pedestrians and cyclists  
T12 - Designing for people with disabilities

Status of Adopted Local Plan (1998)

A number of policies within the Plan have now been held to be 'out-of-date' as a result of recent planning appeal decisions on the basis of Inspectors declaring them to be inconsistent with the NPPF. On this basis the tilted balance required by paragraph 11 of the NPPF may need to be brought into play but this will need to be tempered against the Adopted Development Plan where and if relevant policies remain valid and continue to attract significant weight as material planning considerations dependent upon their consistency with the NPPF. This cannot, however, supplant the statutory duty to make decisions in accordance with the development plan unless such considerations indicate otherwise.

Members are reminded however that this is a Reserved Matters application and therefore the policies in the Adopted Development Plan that deal with the principle of development and its location are less relevant to the consideration of the proposal.

Draft Joint Local Plan Submission Document 2021 [Reg 22]

Policy SP09 - Enhancement and Management of the Environment  
Policy SP10 - Climate Change  
Policy LP12 - Employment Development  
Policy LP17 - Environmental Protection  
Policy LP19 - Landscape  
Policy LP25 - Sustainable Construction and Design  
Policy LP26 - Design and Residential Amenity  
Policy LP27 - Energy Sources, Storage and Distribution

## Policy LP28 - Water resources and infrastructure

Now that the Draft Joint Local Plan has reached Reg 22 stage (Submission) it begins to carry some weight as a material planning consideration. In part that weight depends upon the nature of and degree of conflict over issues that are to be explored at the Examination.

### The National Planning Policy Framework (NPPF)

The National Planning Policy Framework (NPPF) 2021 contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-taking purposes.

Particularly relevant elements of the NPPF include:

Section 2: Achieving Sustainable Development

Section 4: Decision Making

Section 6: Building a Strong, Competitive Economy

Section 12: Achieving Well-Designed Places

Section 15: Conserving and Enhancing the Natural Environment

### The National Planning Practice Guidance (NPPG)

The National Planning Practice Guidance (NPPG) provides guidance and advice on procedure rather than explicit policy; however, it has been taken into account in reaching the recommendation made on this application.

### Other Considerations

- Ipswich Policy Area
- Suffolk County Council- Suffolk's Guidance for Parking (2014 updated 2019)
- BMSDC Open for Business Strategy
- Grow on Space Supply and Demand Analysis (October 2019)

## **Neighbourhood Plan Status**

This application site is not within a Neighbourhood Plan Area.

The site is situated in close proximity to the neighbouring Parish of Sproughton [Babergh District]. Sproughton is currently in the process of preparing their Neighbourhood Development Plan [Reg 14 Pre-Submission Consultation] and whilst it does not cover Gt Blakenham the application site is adjacent to the defined Sproughton Neighbourhood Plan Area. Sproughton has within its boundary a Designated Enterprise Area and reference may be made to the relevance of this to the application at hand in this report or in the associated presentation.

## **Consultations and Representations**

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

### **A: Summary of Consultations**

#### **Parish Council (Appendix 3)**

**Great Blakenham Parish Council**

No response received to date [consultation originally expired 06 September 2021].

**Claydon and Whitton Parish Council**

No response received to date [consultation originally expired 06 September 2021].

**Little Blakenham Parish Council**

No response received to date [consultation originally expired 06 September 2021].

**National Consultee (Appendix 4)****Highways England**

"We have reviewed the details and information provided. Due to the location and nature of the proposed development, there is unlikely to be any adverse effect upon the Strategic Road Network. Consequently, we offer No Comment."

**Historic England**

"Thank you for your letter of 27 October 2021 regarding the above application for planning permission. On the basis of the information available to date, in our view you do not need to notify or consult us on this application under the relevant statutory provisions, details of which are enclosed."

**Natural England**

"Natural England has no comments to make on this re-consultation application."

**Ministry Of Defence (Statutory)**

"The applicant is seeking planning permission for reserved matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 for Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

The application site falls within the statutory height, technical and birdstrike safeguarding zones for RAF Wattisham and is located approximately 9.8km from RAF Wattisham.

After reviewing the documents provided, I can confirm that MOD has no objections with regards to this proposal."

**Environment Agency**

No response received to date.

**County Council Responses (Appendix 5)****SCC Archaeology**

No response received to date.

**SCC Developer Contributions**

No response received to date.

**SCC Flood and Water Management**

"I have reviewed the following submission and would not advise approval at this time.

- Site Layout Plan – see below

This is because:

- The layout with the approved SW drainage strategy is not the same as the layout now submitted for reserved matters.
- It is not clear whether there is sufficient space for the proposed /required drainage.
- A plan is needed showing the proposed drainage overlaid on the new layout. Some variation in details may be possible, but the applicant will need to demonstrate: the appropriate storage capacity will be provided, that discharge rates and pollution control measures for phase 8 are in accordance with the approved strategy for sites 2,3, and 8.
- The following extracts show the problem from approved SW strategy plan rev c planning ap 21/0211”

**Officer comment:** *The application before Members is reserved matters for Phase 8/Units 1 and 2 within the wider context of the Port One Logistics Park. Whilst SCC Floods concerns are noted, there is sufficient space within the wider site, owned by the applicant to accommodate the appropriate drainage basis and necessary surface water drainage. This has previously been conditioned (Condition 6) on approval DC/20/03891. An application to discharge the surface water drainage strategy (ref DC/21/02011) for phases 2, 3 and 8 was granted in November 2021. However, due to changes in the site layout made during the determination of this application, this condition will need re-discharging prior to commencement.*

### **SCC Highways**

“Notice is hereby given that the County Council as Highway Authority make the following comments:

Whilst the revised parking provision represents a reduction from the previously accepted provision, we are satisfied that this will not significantly impact upon the local highway network and subsequently the revisions are acceptable to the Highway Authority.

#### Recommended conditions:

Condition: The use shall not commence until the area(s) within the site shown on drawing no. 2066 DE 10-002 Rev O for the purposes of loading, unloading, manoeuvring and parking of vehicles has / have been provided and thereafter the area(s) shall be retained, maintained and used for no other purposes.

Reason: To ensure that sufficient areas for vehicles to be parked are provided in accordance with Suffolk Guidance for Parking 2019 where on-street parking and or loading, unloading and manoeuvring would be detrimental to the safe use of the highway.

Condition: Before any building is constructed above ground floor slab level details of the areas to be provided for the secure, covered and lit cycle storage including electric assisted cycles shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To promote sustainable travel by ensuring the provision at an appropriate time and long term maintenance of adequate on-site areas and infrastructure for the storage of cycles and charging of electrically assisted cycles in accordance with Suffolk Guidance for Parking 2019.

Condition: Before the development is commenced details of the infrastructure to be provided for electric vehicle charging points shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To provide EV charging infrastructure in accordance with Suffolk Guidance for Parking (2019)

Condition: Before the development is commenced, details of the areas to be provided for the storage and presentation for collection/emptying of refuse and recycling bins shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that space is provided for refuse and recycling bins to be stored and presented for emptying and left by operatives after emptying clear of the highway and access to avoid causing obstruction and dangers for the public.”

**Officer comment:** *It is not necessary to impose the conditions relating the parking areas, cycle storage or EV charging as they are a repeat of conditions on the outline planning permission (DC/20/03891). The refuse and recycling bin condition is not deemed necessary; it has not been imposed on any previous reserved matters applications and can be suitably accommodated within the site.*

### **SCC Fire and Rescue**

“The Suffolk Fire & Rescue Service made comment on the original planning application of 2351/16, which we note was published. We did request a Condition in the Decision Notice for Fire Hydrants. If that has not been added, please ensure that there is a Condition for the re-consultation.”

### **SCC Travel Plan**

“On reviewing the documents I have no comment to make.”

### **SCC Rights of Way**

No response received to date.

## **Internal Consultee Responses (Appendix 6)**

### **Heritage Team**

“The Heritage Team have no comments to provide on the above application.”

### **Place Services Ecology**

“We have reviewed the submitted documents for this reserved matter application, including the Site Layout Plan – Rev G (Barefoot & Gilles, July 2021).

We have also reviewed the Dormouse Survey Report (Abrehart Ecology, Nov 2016), Construction Environmental Management Plan - Biodiversity (Abrehart Ecology, June 2017), Reptile Mitigation Strategy (Abrehart Ecology, June 2017) and (Abrehart Ecology) and Badger Survey Report (Abrehart Ecology, May 2017) submitted and approved under the previous discharge of condition application (DC/17/03851).

It is indicated that the approved ecological reports are out of date to support this application, in line with CIEEM Guidance. As a result, it would be useful for the applicant’s ecologist to carry out a site visit and provide an ecological addendum to update the ecological information for this application. This should provide appropriate justification, on:

- The validity of the initial reports;
- Which, if any, of the surveys need to be updated; and
- The appropriate scope, timing and methods for the update survey(s).

If it is considered necessary that further mitigation measures are required this scheme, then this preferably should be secured via an updated Construction Environmental Management Plan - Biodiversity.

We note that the Site Layout Plan – Rev G (Barefoot & Gilles, July 2021) is not supported by detailed soft landscaping information. This should include the proposed planting specification and schedules, as well suitable details of implementation to ensure that plants will establish successfully, in line with condition 34 of the initial application (DC/20/03891). However, it is accepted that these measures could be secured via a discharge of condition application.

We also encourage the applicant to demonstrate biodiversity net gains for this application, in line with paragraph 174d of the NPPF 2021. This could include the provision of native species planting appropriate for the local variation of species and a range of bespoke biodiversity enhancement measures within the soft landscaping area, which could be secured at reserved matters or as separate condition of any consent. All ecological enhancement proposals should be informed by a suitably qualified ecologist to ensure certainty that suitable measures will be implemented for this application.

Furthermore, it is indicated that a wildlife friendly lighting scheme should be provided for this application, in line with condition 8 of the initial application (DC/20/03891). However, it is also accepted that these measures could be secured via a discharge of condition application, prior to beneficiary use. The lighting strategy should follow BCT & ILP Guidance<sup>2</sup> and a professional ecologist should be consulted to advise on the likely ecological impacts from this scheme. Ideally, the following measures should be indicated to avoid impacts to foraging and commuting bats:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Environmentally Sensitive Zones should be established within the development, where lighting could potentially impact important foraging and commuting routes for bats.
- Lux levels and horizontal lighting should be directed away from boundary edges and Environmentally Sensitive Zones and kept as low as possible. This should preferably demonstrate that the boundary features and Environmentally Sensitive Zones are not exposed to lighting levels of approximately 1 lux. This is necessary to ensure that light sensitive bat species, will not be affected by the development.
- Warm White lights should be used preferably at <3000k within Environmentally Sensitive Zones. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- Light columns should be as short as possible as light at a low level reduces the ecological impact.
- The use of cowls, hoods, reflector skirts or shields could be used to prevent horizontal spill in Environmentally Sensitive Zones.”

**Officer comment:** *The application before Members is reserved matters for Phase 8/Units 1 and 2 within the wider context of the Port One Logistics Park. The site has been a building site for a number of years. The overall ecology strategy has been agreed through previous consents and the necessary ecological mitigation has been secured through conditions on the outline consent.*

### **Place Services Landscape**

“Thank you for consulting us on the application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck. This letter sets out our consultation response on the landscape impact of the planning application and how the proposed layout and design relates and responds to the landscape setting and context of the site.

We note that some recommendations from our letter dated 06/09/2021 have been made, however we believe there are still fundamental issues with the landscape proposals of the site that need to be resolved.

The landscaping of the site is an opportunity to provide a coherent canvas for the units to sit within. There is potential that as individual phases come forward that the quality and quantity of landscape provision, for the site as a whole, could be degraded. As stated in our previous letter it is our judgement that the amendments to the layout of unit 1 & 2 are significant in terms of visual impact, visual amenity and biodiversity.

It should also be noted that Condition 34 Soft Landscaping and 35 Hard Landscaping of the granted outline permission 2351/16 (amended 1755/17) are concurrent with the reserved matters application and have only been partly discharged (unit 4 only) under application DC/19/05259.

The approved landscape masterplan produced to discharge condition 32 of granted outline permission 2351/16 (DC/19/01775 – Dwg Ref LS DP 11365-05\_RevD) indicated over 1,750m<sup>2</sup> of planting between units 1 & 2, the majority of which was focused along the boundaries. This application has not provided close to that quantity and for that reason we cannot support this application on the grounds of insufficient landscape provision and recommend that a revised scheme of hard, soft landscaping works and boundary treatment for this phase is submitted to fulfil the requirements of conditions 34 and 35 as referenced above.”

**Officer comment:** *The soft and hard landscaping conditions (34 and 35, respectively) imposed to DC/20/03891 (the outline permission this reserved matters application is being brought forward under) requires details to be submitted prior to works above slab level. Thus, there is no justified reason to delay the approval of this reserved matters application owing to the existing timeframes in place. Whilst this Reserved Matters application includes landscaping, Officers are satisfied that the strategic landscaping framework is understood and that site specifics can be approved by condition.*

#### **Environmental Health - Land Contamination**

“Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to land contamination.”

#### **Arboricultural Officer**

No response received to date.

#### **MSDC - Waste Manager (Major Developments)**

“Waste services do not have no objection to this application.”

#### **Economic Development & Tourism**

No response received to date.

#### **Environmental Health – Sustainability**

“Many thanks for your request to comment on the Sustainability/Climate Change mitigation related aspects of this re-consultation.

I am unable to comment on these matters as there are no documents yet published relating to sustainability as required by Conditions 13 and 14 of the original OPP DC/20/03891 dated: 17/02/2021.

I would take this opportunity to remind the applicant that within the sustainability strategy require within Condition 13, it should include details as to the provision for electric vehicles, please see the Suffolk Guidance for Parking, published on the SCC website on the link below:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-developmentadvice/parking-guidance/>”



**Officer comment:** *Curzon DeVere have an excellent record of pushing the green energy boundary on this site in line with their ambition to be the greenest business centre in the UK. Curzon DeVere is building an energy supply relationship with the adjacent Energy from Waste and is looking to supply individual units with energy from roof installed PV units.*

#### **Environmental Health – Air Quality**

“Many thanks for your request for comments in relation to the above application from the perspective of Local Air Quality Management. I can confirm that I have no comments to make in addition to those made at outline stage.”

#### **Environmental Health – Noise/Odour/Light/Smoke**

“I can confirm with respect to noise and other environmental health issues that I do not have any comments to make.”

#### **Communities (Major Development)**

No response received to date.

#### **Other Consultee Responses (Appendix 7)**

##### **Stowmarket Group - Patch 4**

No response received to date.

##### **Suffolk Police – Designing Out Crime Officers**

No response received to date.

##### **East Suffolk Internal Drainage Board**

“Thank you for your consultation on planning application DC/21/04358. As mentioned in the Board's previous response, the site in question lies outside the Internal Drainage District of the East Suffolk Internal Drainage Board and as per our Planning and Byelaw Strategy the proposed application is classed as a minor development and does not meet our threshold for commenting, therefore we have no comments to make.”

##### **Anglian Water**

“The reserved matters application is related to appearance, landscaping, layout, and floor plans therefore this application is outside of our jurisdiction to comment.”

#### **B: Representations**

At the time of writing this report no letters/emails/online comments have been received. A verbal update shall be provided as necessary.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

#### **RELEVANT PLANNING HISTORY**

**REF:** DC/21/05820

Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including

**DECISION:**  
to be determined

ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road.

<b>REF:</b> DC/21/02697	Full Planning Application - Extension of estate road and construction of part of carpark and service yard, with related landscaping to service unit 3.	<b>DECISION:</b> GRANTED 24.06.2021
<b>REF:</b> DC/21/02067	Submission of details (Reserved Matters) following Permission DC/20/03891 dated 17/02/2021 - Appearance, Landscaping, Layout and Scale for Construction of Phase 3 / Unit 3 Class B8 Warehouse building including ancillary office space, with car parking and loading / unloading areas, boundary landscaping and continuation of estate road.	<b>DECISION:</b> GRANTED 10.06.2021
<b>REF:</b> DC/20/01175	Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping	<b>DECISION:</b> GRANTED 15.04.2021
<b>REF:</b> DC/20/03891	Application under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements)	<b>DECISION:</b> GRANTED 17.02.2021
<b>REF:</b> DC/19/01793	Submission of details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 2 extending estate road approved under DC/18/01897 to eastern & central parts, provision of main services & balancing lagoon & Phase 4 for central warehouse unit plot.	<b>DECISION:</b> GRANTED 23.10.2019
<b>REF:</b> DC/19/01827	Submission of Details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 1 Access Works	<b>DECISION:</b> GRANTED 10.07.2019

**REF:** 1755/17

Application for variation of condition 20 following grant of planning permission 2351/16: "Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping" to enable revised details for proposed accesses

**DECISION:**  
GRANTED  
29.10.2018

**REF:** 2351/16

Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping.

**DECISION:**  
GRANTED  
17.11.2016

This planning history does not cite associated discharge of condition applications/decisions, minor applications related to redevelopment as a business park or history prior to the relevant business park consent.

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## **PART TWO – ASSESSMENT OF APPLICATION**

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### **1.0 The Site and Surroundings**

- 1.1 The application site is located on the western side of the B1113 (Bramford Road), to the north of the junction that links a single carriageway section with dual carriageway section that extends towards the A14 trunk road.
- 1.2 There are a number of industrial units to the north and east of the site, approximately 20 buildings in total.
- 1.3 Outline planning permission and subsequent reserved matters were approved for a development of a business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping in November 2016 under reference 2351/16.
- 1.4 The existing 2016 permission (2351/16) was varied to ensure that the conditions reflected the phased nature of the scheme. Phases 1, 2 and 4 have been brought forward under outline planning permission 1755/17.

- Phase 1 – Access
- Phase 2 – Estate Roads and the drainage lagoon; and
- Phase 4 – Plot 4 (refs DC/19/01827 (DoC) and DC/19/01793) and site-wide pre-commencement conditions, together with those parts of the phased pre-commencement conditions which relate to Phases 1, 2 & 4, have been fully discharged. Accordingly, work commenced on-site at the end of 2019.

1.5 This outline permission (1755/17) has subsequently been varied to allow for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). Phases 3, 6 and 8 have been brought forward under outline planning permission DC/20/03891.

- Phase 3 – Plot 3 (refs DC/21/02724 (DoC) and DC/21/02067). Applications have been made to discharge all other pre-commencement and pre-slab level conditions.
- Phase 6 – Plot 6 (ref DC/21/05820) decision outstanding.
- Phase 8 – Plots 1 and 2 (subject of this application).

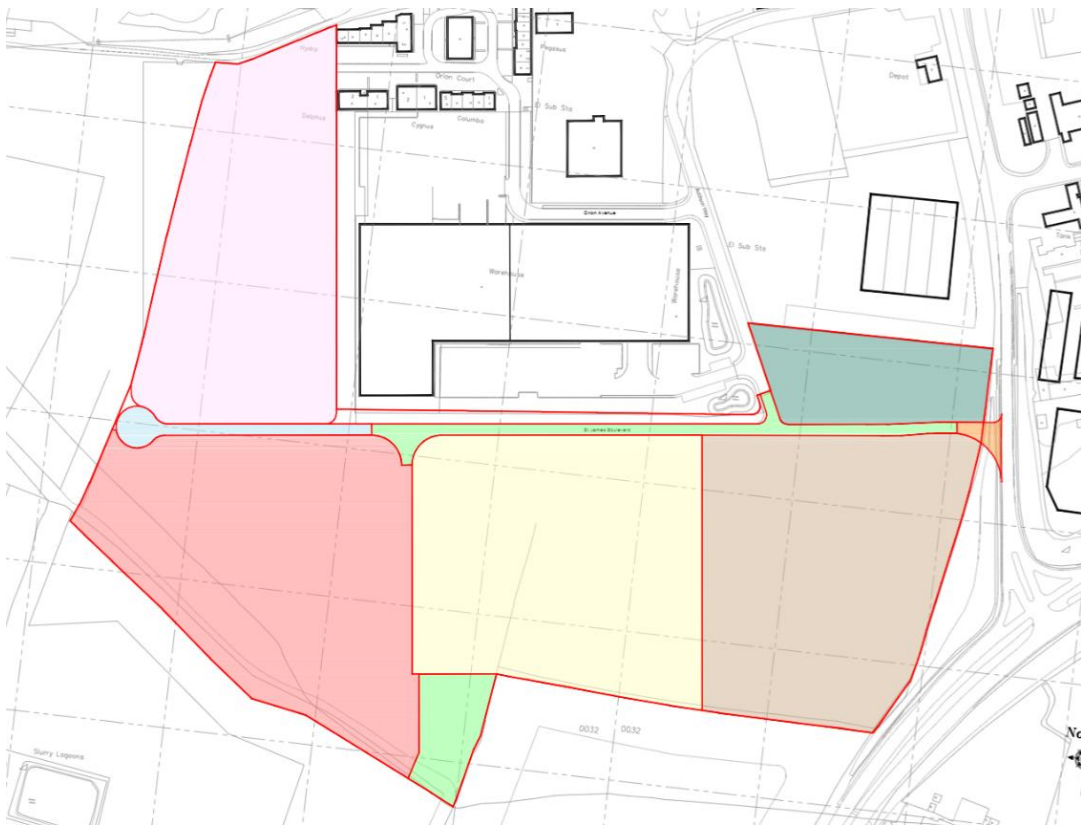


Figure 1: Phasing plan agreed under outline DOC ref. 2351/16

- 1.6 In April 2021 consent was given for an extension to the park. The remaining phases of the development are to be brought forward under this outline planning permission (ref DC/20/01175).
- 1.7 The current application before Members represents Phase 8 of the original outline permission which was granted under 2351/16, 1755/17 and subsequently DC/20/03891.

## **2.0 The Proposal**

- 2.1 The proposal seeks approval of reserved matters which includes the appearance, landscaping, layout and scale for Phase 8 (Units 1 and 2) following permission DC/20/03891 dated 17/02/2021 (Section 73) and the original outline permission 2351/16.
- 2.2 Phase 8 would see the erection of two attached warehouse buildings (Use Class B8) including ancillary office space, production areas (Class E(g)) and car parking deck.
- 2.3 Units 1 and 2 are located within the site covered by outline planning permission DC/20/03891. They are to be sited to the north of Unit 3 and the internal estate road (known as Blackacre Road).



Figure 2: Plan showing the position of Units 1 and 2 in relation to Units 3 and 4 and the wider site

- 2.4 Unit 1 would provide 2,808 square metres of logistic warehouse with a ridge height of 18.4m above the finished floor level. Unit 2 would provide 4,817 square metres of logistic warehouse with a ridge height of 19m above the finished floor level. The topography of the land is such that it rises from the rear and therefore part of the land is to be cut out to set the finished floor level of Unit 1 at 19.500 and Unit 2 at 22.000.

### **3.0 The Principle of Development**

- 3.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states:
 

“If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”
- 3.2 It is therefore the starting point for the Council when determining planning applications and so we must first consider the application in the light of relevant Development Plan policies.

- 3.3 The principle of development for a logistics park on this site has already been established by the planning permission granted under application reference 2351/16, the subsequent Section 73 which varied the original scheme under reference 1755/17, the reserved matters applications (DC/19/01827 and DC/01793) and the most recent Section 73 (under reference DC/20/03891) which varied Conditions 20 and 26 of the original scheme under reference 1755/17.
- 3.4 In addition, the site lies within the emerging Joint Local Plan as a site allocated for employment, as such the principle is considered acceptable in this regard and conforms with Policy SP05.

**Policy SP05 – Employment Land**

In order to support and encourage sustainable economic growth and ensure a continuous range and diversity of sites and premises which are fit for purpose are available across the Districts of Babergh and Mid Suffolk through the plan period the following existing strategic employment sites shall be protected and their proposed expansion supported in principle:

- i. **Stowmarket - Charles Industrial Estate, Gipping Valley, Gipping Way Industrial estate, Mill Lane/Gateway14, Tomo Industrial estate**
- ii. **Sudbury – Churchfield Road, Northern Road, Chilton Industrial Estate, Wood Hall Business Park, Delphi Site**
- iii. **Villages around Ipswich**
  - a) **Claydon & Great Blakenham – Claydon Business Park, Addison Way, Bramford Rd/Lodge Lane Industrial Estate, Gipping Road Industrial Estate**
  - b) **Wherstead – Wherstead Business Park**
  - c) **Sproughton – Former Sugar Beet site, Farthing Road Industrial Estate, London Road A1214**
- iv. **Acton – Bull Lane**
- v. **Eye – Eye Airfield**
- vi. **Hadleigh – Lady Lane**
- vii. **Needham Market – Lion Barn**
- viii. **Woolpit – Lady’s Well, Lawn Farm, Brickworks, Woolpit Business Park**

Employment-led regeneration is supported at Brantham and at the Former Sproughton Sugar Beet regeneration sites.

Along the strategic transport corridors (A12, A14 and A140) development of net additional employment sites shall be supported in principle, subject to:

- a. **adequate highway access and off-road parking for its type, mix, use and location; and**

#### **4.0 Nearby Services and Connections Assessment of Proposal**

- 4.1 The application site is situated outside any settlement boundary however it is well connected due to its proximity to the A14 which provides a dual carriage link direct to Felixstowe which is the largest container port in the United Kingdom (handling over 42% of all the country's containerised trade). It is the sixth busiest port in Europe and the A14 links it directly to the M1, M6, M42 'golden triangle', where many of the main logistic companies in the country are based. Policy SP05 in the Emerging Joint Local Plan supports and encourages sustainable economic growth as well as the protection and proposed expansion in principle of a number of existing sites such as this within Great Blakenham.

- 4.2 There are existing employment uses to the north and east of the site and this area is considered to be an established employment location, with good access to a large, skilled, workforce living in Stowmarket, Needham Market and the Ipswich Policy Area. There is also the Sproughton Enterprise Park nearby together with SnOasis although this has not yet been developed.

## **5.0 Site Access, Parking and Highway Safety Considerations**

- 5.1 The site access would be off Bramford Road/Addison Way and has been previously approved under the outline planning permission 2351/16 (subsequently varied by Section 73 permission 1755/17).
- 5.2 Furthermore, all issues in relation to the safety of the proposed access were considered at the time the discharge of condition application was assessed by the Council (ref. DC/18/01897).
- 5.3 Unit 1 is to be served by 23no. car parking spaces, of which 5no. are to be fitted with an EV charging system and 11no. additional spaces are to have the infrastructure in place for future connectivity.
- 5.4 Unit 2 is to be served by 56no. car parking spaces, of which 24no. spaces are to be provided on the lower parking deck (plus 5no. outside of the deck) and 27no. spaces on the upper parking deck which provides direct access onto Addison Way to the west. Of these spaces, 12no. are to be fitted with an EV charging system and 13no. additional spaces are to have the infrastructure in place for future connectivity.
- 5.5 SCC Highways have been consulted and have no objection to the proposal subject to conditions in relation to parking areas, cycle storage, electric vehicle charging points and refuse and recycling bin areas. It is not considered necessary to impose these conditions given that it is a repeat of pre-commencement conditions 28 and 29 on the outline planning permission ref DC/20/03891 (with the exception of the refuse and recycling bin areas condition which is not deemed necessary).
- 5.6 Members are reminded that all the proposed works relating to the existing and new junctions on the wider site have already been agreed and that the junction delivery is secured by way of existing conditions and S106 Agreement on the existing schemes that have previously been before Members. The access has already been agreed and is to be off the new junction from the B1113 Bramford Road, Addison Way (in-only) and the new estate road, for which detailed planning permission has already been granted (outline permission 1755/17 and reserved matters approvals DC/19/01827 and DC/19/01793).
- 5.7 The approved access from Bramford Road consists of a new priority junction arrangement which only permits left turn in and right turn out movements. The site provides a secondary access from Addison Way allowing cars, vans and emergency vehicles to enter and exit the site in both directions on Bramford Road. HGV access is to be restricted between the early phase of the development and the new access via Addison Way.
- 5.8 The junction geometry has been designed to physically prevent HGV movements in certain directions to ensure all HGVs enter and exit the site from the A14 direction and the main site access.
- 5.9 As per the recent approval DC/20/03891 the proposed works relating to the existing and new junctions on the wider site have a trigger to bring forwards the previously approved access either within 12 months of occupation of the first unit, or, if earlier, before the occupation of the third unit. The junction works have commenced under a minor works license. A draft S278 agreement is with the Highways Authority and it is envisaged that the works will be completed by summer 2022.

## **6.0 Design and Layout [Impact On Street Scene]**

- 6.1 Unit 1 would have a floor area of 2,808 square metres and would be situated in the north-eastern corner of the Port One logistic site, to the east of Unit 2. The Unit will be set back from the new internal estate road (known as Blackacre Road) and the B1113 to the east. The delivery docks would be to the site frontage (south), with the car park to the east of the Unit.
- 6.2 Unit 2 would have a floor area of 4,817 square metres and would be situated in the north-eastern corner of the Port One logistic site, to the west of Unit 1. The Unit will be set back from the new internal estate road (known as Blackacre Road) and the B1113 to the east. The delivery docks would be to the site frontage (south), with the car parking desk to the west of the Unit.
- 6.3 The proposed siting, layout and design of Units 1 and 2 closely follows that of the existing built out warehouses and other approved Phases within the wider site.
- 6.4 The proposed ridge height for Unit 1 would be 18.4m above the finished floor level and for Unit 2 would be 19m above finished floor level. Due to the existing topography of the site, Unit 2 will sit approximately 3m higher than Unit 1 to the east. This is in part due to the vehicular access point onto Addison Way.
- 6.5 The design, materials and appearance of the building 'mirror' that of Units 3 and 4 and are consistent with the key design approach agreed with the Council, which is to develop a family of warehouse buildings on the Park that are clad in materials that are lighter at the bottom and are darker at the top. This was previously agreed and considered appropriate as it was considered that the buildings would not be seen against the sky but against the tree belts that border the site on higher ground to the west and north.

## **7.0 Commentary on Outline Conditions**

- 7.1 Members are reminded that this application before them is for the Reserved Matters of Phase 8/Units 1 and 2 and a number of other aspects of the development have previously been agreed and secured by condition relating to either DC/20/03891 or DC/20/01175 and are required to be discharged accordingly.
- 7.2 In addition a S106 and Deed of Variation also secure a number of obligations for the wider site under either DC/20/03891 or DC/20/01175.

## **8.0 Landscape Impact, Trees, Ecology, Biodiversity and Protected Species**

- 8.1 The proposal would include a small buffer of landscaped area which would include new tree planting along the eastern, northern and southern boundaries.
- 8.2 Within the wider site and surrounding area there is to be additional tree planting and landscaping to ensure that the whole site is suitably screened and the overall development, as a whole, is softened.
- 8.3 Place Services Landscaping have been consulted and raise concerns regarding the change in site layout and lack of planting proposed. However, the soft and hard landscaping conditions (34 and 35, respectively) imposed to DC/20/03891 requires details to be submitted prior to works above slab level. Thus, there is no justified reason to delay the approval of this reserved matters application owing to the existing timeframes in place.



- 8.4 Place Services Ecology have raised concerns regarding the age of the approved ecological reports and have recommended conditions securing biodiversity mitigation, compensation and enhancements. The site has been a building site for a number of years. The overall ecology strategy has been agreed through previous consents and the necessary ecological mitigation has been secured through conditions on the outline consent.

## **9.0 Land Contamination, Flood Risk, Drainage and Waste**

- 9.1 Environmental Health confirm that there is no objection to the proposal in this regard.
- 9.2 SCC Flood & Water Management advise that the application should not be approved until an acceptable surface water drainage strategy is approved due to potential impact on the layout and levels of the site. Whilst these concerns are noted, this Phase is being brought about in conjunction with the development of the wider site (DC/20/03891) and also the further extended site to the south (DC/20/01175).
- 9.3 Drainage issues are not material to this reserved matters application, which solely concerns the siting, layout, appearance and landscaping of Phase 8/Units 1 and 2. The drainage for the whole site is subject to a separate condition (Condition 6) on outline reference DC/20/03891. An application to discharge the surface water drainage strategy (ref DC/21/02011) for phases 2, 3 and 8 was granted in November 2021. However, due to changes in the site layout made during the determination of this application, this condition will need discharging prior to commencement.
- 9.4 Phase 8/Units 1 and 2 is being brought forward under outline planning permission DC/20/03891. Within the site covered by this existing consent, there is ample space to accommodate the required drainage system(s) for all phases of the development and as mentioned above this is being dealt with under the appropriate condition for the approved permission DC/20/03891.
- 9.5 It is suggested that should Members be minded to approve this reserved matters application then a condition should be included as part of the decision to ensure that the drainage currently dealt with under Condition 6 of DC/20/03891 needs to be agreed prior to the commencement of works of Phase 8.

## **10.0 Heritage Issues**

- 10.1 The proposed development site does not lie within a Special Landscape Area or a Conservation Area and there are no listed buildings nearby. The proposed development would therefore not have any detrimental impact in this regard and is considered acceptable.

## **11.0 Impact on Residential Amenity**

- 11.1 The proposed site is situated within an existing industrial/commercial area. The proposed development is not considered to cause a significant detrimental impact on residential amenity.
- 11.2 The nearest residential properties are some 260m to the south and 310m to the north, respectively.
- 11.3 Due to the siting of Units 1 and 2 within the wider site, the sitewide design approach and the existing and proposed landscaping buffer, the proposed development is not considered to have a detrimental visual impact.

- 11.4 The proposal would not have a significant adverse impact on residential amenity of any nearby neighbours. The proposal would not affect the privacy of the nearby properties nor their visual amenity. The proposal is acceptable in this regard.

## **12.0 Planning Obligations / CIL**

- 12.1 Whilst the Reserved Matters for Units 1 and 2 does not bring about any new planning obligations, the wider site area benefits from an existing agreed S106 and appropriate Deed of Variation which secures a number of benefits such as the shuttle mini-bus, emergency out of hours taxi facility for vulnerable employees, junction improvements and pedestrian/cycle improvements.
- 12.2 All the other infrastructure impacts of the proposal would be subject to funding via CIL, if and where applicable.
- 12.3 This Reserved Matters application does not generate the requirement for a new S106 Agreement or a further Deed of Variation because the obligations which have been secured under outline planning permission (DC/20/01175 and 2351/16) and the subsequent Section 73 (DC/20/03891) permission are not altered by the approval of this Reserved Matters application.

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## **PART THREE – CONCLUSION**

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### **13.0 Planning Balance and Conclusion**

- 13.1 At the heart of the balancing exercise to be undertaken by decision makers is Section 38(6) of the Planning and Compulsory Purchase Act 2004; which requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, determination must be made in accordance with the plan unless material considerations indicate otherwise. That said Members will now be familiar with the fact that here in Mid Suffolk regard needs to be given to the NPPF because in taking decisions the ‘tilted balance’ [paragraph 11[d] NPPF] comes into play because certain of the Council’s Development Plan policies relevant to the matter under consideration here have been held to be ‘out-of-date’.
- 13.2 The principle of development has already been established by the existing extant outline and Section 73 consents and therefore this application is made for the reserved matters of Phase 8/Units 1 and 2.
- 13.3 The proposal is considered to conform to both Local and National policy and Unit 1 would generate approximately 20 full-time jobs and Unit 2 would generate approximately 125 full-time jobs and 50 part-time jobs. The Council is of the understanding that there are pre-lets in place for Units 1 and 2 and they have been designed to meet the tenants’ requirements. The Council seeks to support appropriately located sustainable employment opportunities creating development in suitable locations, particularly within close proximity to the A14 trunk road.
- 13.4 Port One is a highly successful business centre that is helping to create new jobs and responding to the demand for new business premises within the District close to the A14. With the announcement that Felixstowe/Harwich are to be major ‘Freeports’ the Port One site is ideally located to service that sub-regionally/regionally/nationally important commercial hub. A state-of-the-art business centre designed to accommodate largescale logistics operations will bring a real boost to the local economy, boost jobs [direct and indirect] and boost business rate receipts which can be re-invested in services to serve the community.

- 13.5 The proposal is not considered to cause any harm to designated heritage assets, residential amenity, ecology or the landscape and character of the surrounding area.
- 13.6 The design complements the established character of the Port One development and can be seen as a cohesive part of the overall modern functional approach to providing warehouse style units.
- 13.7 The wider site is going to be well landscaped and this will soften the overall impact of the built form from public views but Port One is what it is – a major warehouse style complex close to the A14 in line with the Council's emerging policy SP05 to direct growth towards the A14 corridor.
- 13.8 On this basis, the proposal is considered to satisfactorily achieve a well-designed sympathetic unit with the design in line to the previously approved and built out units on the site and those within the wider area.
- 13.9 It is therefore considered appropriate in planning terms.

### **RECOMMENDATION**

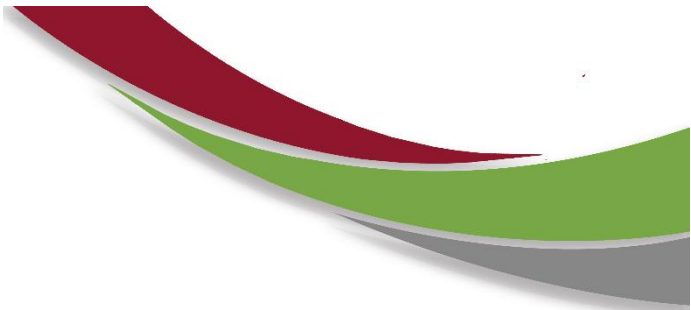
**(1) That the Chief Planning Officer to Grant Planning Permission subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:**

- Standard time limit (3yrs for implementation of scheme)
- Approved Plans (Plans submitted that form this application)
- Level access to enable wheelchair access for all buildings
- SW Drainage agreed prior to commencement of Units 1 and 2

**(2) And the following informative notes as summarised and those as may be deemed necessary:**

- Pro-active working statement
- Support for sustainable development principles

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Application No: DC/21/04358

Location: Land At Blackacre Hill, Bramford Road,  
Great Blakenham, Suffolk

		Page Number
<b>Appendix 1: Call In Request</b>	<i>N/A</i>	
<b>Appendix 2: Details of Previous Decision</b>	<i>N/A</i>	
<b>Appendix 3: Town/Parish Council/s</b>	<i>None received.</i>	
<b>Appendix 4: National Consultee Responses</b>	<i>Highways England Historic England Natural England Ministry Of Defence (Statutory)</i>	
<b>Appendix 5: County Council Responses</b>	<i>SCC Flood and Water Management SCC Highways SCC Fire and Rescue SCC Travel Plan</i>	
<b>Appendix 6: Internal Consultee Responses</b>	<i>Heritage Team Place Services Ecology Place Services Landscape Environmental Health - Land Contamination</i>	



Babergh and Mid Suffolk District Councils



	<p><i>MSDC - Waste Manager (Major Developments)</i></p> <p><i>Environmental Health – Sustainability</i></p> <p><i>Environmental Health – Air Quality</i></p> <p><i>Environmental Health – Noise/Odour/Light/Smoke</i></p>	
<b>Appendix 7: Any other consultee responses</b>	<p><i>East Suffolk Internal Drainage Board</i></p> <p><i>Anglian Water</i></p> <p><i>No letters/emails/online comments received.</i></p>	
<b>Appendix 8: Application Site Location Plan</b>	Yes	
<b>Appendix 9: Application Plans and Docs</b>	Yes	
<b>Appendix 10: Further information</b>	N/A	

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.





## National Highways Planning Response (NHPR 21-09) Formal Recommendation to an Application for Planning Permission

From: Martin Fellows (Regional Director)  
Operations Directorate  
East Region  
National Highways  
[PlanningEE@highwaysengland.co.uk](mailto:PlanningEE@highwaysengland.co.uk)

To: Babergh and Mid Suffolk District Councils      FAO, Vincent Pearce

CC: [transportplanning@dft.gov.uk](mailto:transportplanning@dft.gov.uk)  
[spatialplanning@highwaysengland.co.uk](mailto:spatialplanning@highwaysengland.co.uk)

**Council's Reference:** DC/21/04358

**National Highways Ref:** A14-93053

**Location:** Land at Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

Referring to the consultation on a planning application dated 27 October 2021, referenced above, in the vicinity of the A14 that forms part of the Strategic Road Network, notice is hereby given that National Highways' formal recommendation is that we:

- a) offer no objection (see reasons at Annex A);
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A – National Highways recommended Planning Conditions & reasons);~~
- ~~c) recommend that planning permission not be granted for a specified period (see reasons at Annex A);~~
- ~~d) recommend that the application be refused (see reasons at Annex A)~~

Highways Act 1980 Section 175B is/is not relevant to this application.<sup>1</sup>

This represents National Highways' formal recommendation and is copied to the Department for Transport as per the terms of our Licence.

Should the Local Planning Authority not propose to determine the application in accordance with this recommendation they are required to consult the Secretary of State for Transport, as set out in the [Town and Country Planning \(Development Affecting Trunk Roads\) Direction 2018](#), via [transportplanning@dft.gov.uk](mailto:transportplanning@dft.gov.uk) and may not determine the application until the consultation process is complete.

<b>Signature:</b> S. H.	<b>Date:</b> 15 November 2021
<b>Name:</b> Shamsul Hoque	<b>Position:</b> Assistant Spatial Planner
<b>National Highways</b> Highways England   Woodlands   Manton Lane   Bedford   MK41 7LW	

#### **Annex A National Highway's assessment of the proposed development**

National Highways has been appointed by the Secretary of State for Transport as a strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). The SRN is a critical national asset and as such we work to ensure that it operates and is managed in the public interest, both in respect of current activities and needs as well as in providing effective stewardship of its long-term operation and integrity.

With this Reserved Matters application (for Appearance, Landscape, Layout and Scale) is unlikely to have any severe impact upon the Strategic Road Network (SRN).

The amendments proposed to this planning application are not in conflict with National Highway's (former, Highways England) previous formal response, dated 18 August 2021.

Therefore, we offer no objection.

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<sup>1</sup> Where relevant, further information will be provided within Annex A.



**From:** Goodman, Thomas  
**Sent:** 27 October 2021 15:27  
**To:** BMSDC Planning Area Team Pink  
**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/04358

To whom it may concern,

**T&CP (Development Management Procedure) (England) Order 2015  
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk  
Application No. DC/21/04358**

Thank you for your letter of 27 October 2021 regarding the above application for planning permission. On the basis of the information available to date, in our view you do not need to notify or consult us on this application under the relevant statutory provisions, details of which are enclosed.

If you consider that this application does fall within one of the relevant categories, or you have other reasons for seeking our advice, please contact us to discuss your request.

Yours sincerely

Tom Goodman  
Business Officer

Historic England | Brooklands, 24 Brooklands Avenue, Cambridge, CB2 8BU.

**From:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Sent:** 18 Nov 2021 01:21:24

**To:**

**Cc:**

**Subject:** FW: Planning Consultation DC/21/04358 Natural England Response

**Attachments:**

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**From:** SM-NE-Consultations (NE) <consultations@naturalengland.org.uk>

**Sent:** 16 November 2021 10:29

**To:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Subject:** Planning Consultation DC/21/04358 Natural England Response

Dear Sir/Madam,

Application ref: DC/21/04358

Our ref: 373397

Natural England has no comments to make on this re-consultation application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours faithfully


Corben Hastings  
Support Adviser, Operations Delivery  
Consultations Team  
Natural England  
Hornbeam House, Electra Way  
Crewe, Cheshire, CW1 6GJ  
Tel: 0300 060 3900  
Email: [consultations@naturalengland.org.uk](mailto:consultations@naturalengland.org.uk)

Thriving Nature  
for people and planet



[www.gov.uk/natural-england](http://www.gov.uk/natural-england)

**From:** SM-NE-Consultations (NE)  
**Sent:** 20 August 2021 13:15  
**To:** BMSDC Planning Area Team Pink  
**Subject:** DC/21/04358 NE Response

 **EXTERNAL EMAIL: Don't click any links or open attachments unless you trust the sender and know the content is safe. Click [here](#) for more information or help from Suffolk IT**

FAO Vincent Pearce

Dear Mr Pearce,

Application ref: DC/21/04358  
Our ref: 364828

Natural England has no comments to make on this Reserved Matters Application.

Natural England has not assessed this application for impacts on protected species. Natural England has published [Standing Advice](#) which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on [ancient woodland and veteran trees](#) which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

We recommend referring to our SSSI Impact Risk Zones (available on [Magic](#) and as a downloadable [dataset](#)) prior to consultation with Natural England. Further guidance on when to consult Natural England on planning and development proposals is available on gov.uk at <https://www.gov.uk/guidance/local-planning-authorities-get-environmental-advice>

Yours sincerely,

Ben Jones

Operations Delivery  
Consultations Team  
Natural England  
Hornbeam House  
Electra Way  
Crewe  
Cheshire  
CW1 6GJ



# Ministry of Defence

Vincent Pearce  
Babergh and Mid Suffolk District Councils  
Planning Department  
8 Russell Road  
Ipswich  
IP1 2BX

Your reference: DC/21/04358  
Our reference: 10052968

# Defence Infrastructure Organisation

Safeguarding Department  
Statutory & Offshore  
Defence Infrastructure Organisation Head Office  
St George's House  
DMS Whittington  
Lichfield  
Staffordshire  
WS14 9PY

Tel: 07970171174

E-mail: [DIO-safeguarding-statutory@mod.gov.uk](mailto:DIO-safeguarding-statutory@mod.gov.uk)

[www.mod.uk/DIO](http://www.mod.uk/DIO)

26 October 2021

Dear Vincent,

## **MOD Safeguarding-RAF Wattisham**

**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

**Location:** Land at Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Grid Ref:** 612127, 249588

Thank you for consulting the Ministry of Defence (MOD) on the above proposed development.

The applicant is seeking planning permission for reserved matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 for Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

The application site falls within the statutory height, technical and birdstrike safeguarding zones for RAF Wattisham and is located approximately 9.8km from RAF Wattisham.

After reviewing the documents provided, I can confirm that MOD has no objections with regards to this proposal.

I trust this adequately explains our position on this matter

Yours sincerely

Kalie Jagpal  
Assistant Safeguarding Manager

**From:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>  
**Sent:** 12 Nov 2021 10:04:49  
**To:**  
**Cc:**  
**Subject:** FW: MSDC Planning Re-consultation Request - DC/21/04358  
**Attachments:** ufm28\_Standard\_Re-consultation\_Letter.pdf

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**From:** GHI Floods Planning <floods.planning@suffolk.gov.uk>  
**Sent:** 09 November 2021 11:14  
**To:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>; Vincent Pearce <Vincent.Pearce@babberghmidsuffolk.gov.uk>  
**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/04358

[ufm28\\_Standard\\_Re-consultation\\_Letter.pdf](#)

Dear Vincent,

Thank you for consulting us regarding the Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck)."

### **Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team**

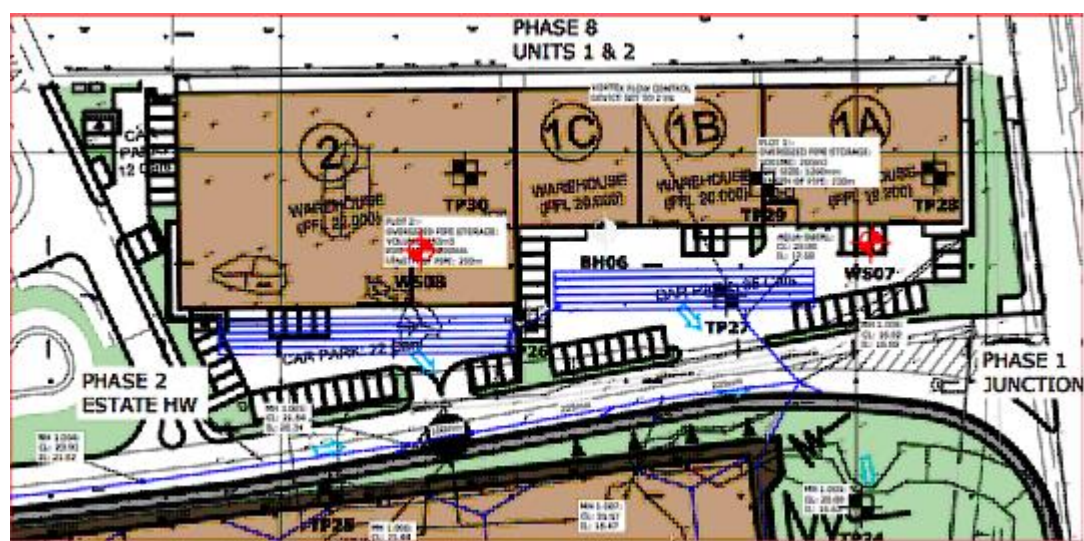
I have reviewed the following submission and would not advise approval at this time.

- Site Layout Plan – see below

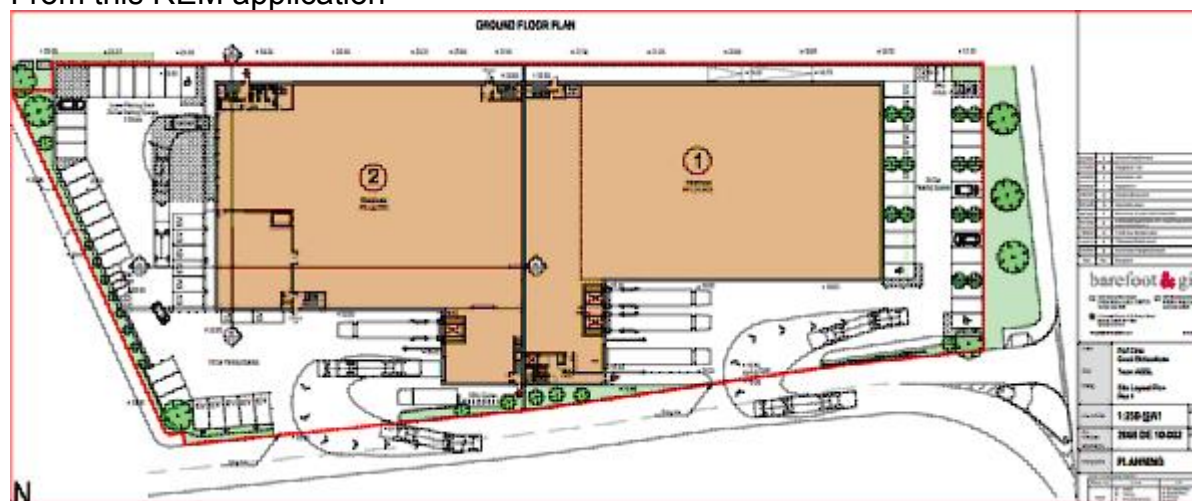
This is because:

- The layout with the approved SW drainage strategy is not the same as the layout now submitted for reserved matters.
- It is not clear whether there is sufficient space for the proposed /required drainage.
- A plan is needed showing the proposed drainage overlaid on the new layout. Some variation in details may be possible, but the applicant will need to demonstrate: the appropriate storage capacity will be provided, that discharge rates and pollution control measures for phase 8 are in accordance with the approved strategy for sites 2,3,and 8.
- The following extracts show the problem

From approved SW strategy plan rev c planning ap 21/0211



From this REM application



Regards

**Denis Cooper**  
 Flood and Water Engineer  
**Flood and Water Management**  
 Growth, Highways and Infrastructure  
 Suffolk County Council

Tel: 01473 260907  
 email: [denis.cooper@suffolk.gov.uk](mailto:denis.cooper@suffolk.gov.uk)

Useful Links  
[SCC Guidance on Development and SW flood risk](#)

Dear Vincent,

Thank you for consulting us regarding the application for approval of Reserved Matters following approval of Outline Planning

Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck 8.

Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team

I have reviewed the submitted documents and would advise you not to approve reserved matters related to layout and scale and landscaping until condition 6 relating to SW drainage is discharged.

This is because:

- No SW details are shown.
- It is not clear how much space is needed within the application site for attenuation / storage of SW runoff.
- SW drainage proposals submitted with application 21/02011 to discharge condition 6 of permission 20/03891 were not acceptable and would cause increased flooding off the site contrary to national and local policies.

Information:

Application 21/02011 sought approval to a different SW strategy to that previously put forward for phases 1,2,3,4 and 8. That involved siting a large soakaway off site within SCC land to the S East, however ground conditions here were not sufficiently permeable and space limited. That application is shown as "awaiting decision"

I have informally received, from the developer's consultant engineer, proposals for a third potential SW strategy. I am currently not sure whether this will be acceptable.

I understand phase 4 is nearing completion and am surprised that phase 2 (the access road including drainage is not completed?) it appears the development is proceeding contrary to condition 6.

#### Condition 6

6. ACTION REQUIRED IN ACCORDANCE WITH A SPECIFIC TIMETABLE -SURFACE WATER DRAINAGE DETAILS Development in Phases 1, 2 and 4 shall proceed in accordance with the details approved under reference DC/19/04320, which shall be, unless otherwise agreed with the local planning authority, implemented in full before the relevant phase is occupied. No development shall take place within any other area or phase of the development until details of a surface water drainage scheme for that phase, based on sustainable drainage principles and an assessment of the hydrological and hydro geological context of the development within that phase, has been submitted to and approved in writing by the local planning authority. The details should demonstrate the surface water runoff generated up to and including the 100 years critical storm will not exceed the runoff from the undeveloped site following the corresponding rainfall event. The scheme shall subsequently be implemented in accordance with the approved details. Details include: a) Results of site specific infiltration tests which have been carried out in accordance with BRE Digest 365 (as amended) b) Demonstration that the run off rates shall not exceed the Greenfield run off rates. c) Demonstration that the volume of runoff will not exceed that of a Greenfield site d) Plan showing exceedance flow paths e) Phasing f) Maintenance and management scheme for the lifetime of the consented development, including the body /organisation responsible for the maintenance and management g) Measures to protect ground water or watercourses from pollution during all phases. h) An Asset Register identifying location, ownership and maintenance arrangements for each surface water drainage feature in a form compatible with Suffolk County Councils Asset Register

Reason - To safeguard the ground water environment and minimise the risk of flooding.

Regards

Denis Cooper

Flood and Water Engineer

Flood and Water Management

Growth, Highways and Infrastructure

Suffolk County Council

Tel: 01473 260907

email: denis.cooper@suffolk.gov.uk



## Useful Links

SCC Guidance on Development and SW flood risk

-----Original Message-----

From: planningpink@baberghmidsuffolk.gov.uk <planningpink@baberghmidsuffolk.gov.uk>

Sent: 16 August 2021 20:11

To: GHI Floods Planning <floods.planning@suffolk.gov.uk>

Subject: MSDC Planning Consultation Request - DC/21/04358

Please find attached planning consultation request letter relating to planning application - DC/21/04358 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Kind Regards

Planning Support Team

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Babergh District Council and Mid Suffolk District Council (BMSDC) will be Data Controllers of the information you are providing. As required by the Data Protection Act 2018 the information will be kept safe, secure, processed and only shared for those purposes or where it is allowed by law. In some circumstances however we may need to disclose your personal details to a third party so that they can provide a service you have requested, or fulfil a request for information. Any information about you that we pass to a third party will be held securely by that party, in accordance with the Data Protection Act 2018 and used only to provide the services or information you have requested.

Your Ref: DC/21/04358  
Our Ref: SCC/CON/5719/21  
Date: 21 December 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Vincent Pearce - MSDC

Dear Vincent

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/04358**

**PROPOSAL:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

**LOCATION:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

Whilst the revised parking provision represents a reduction from the previously accepted provision, we are satisfied that this will not significantly impact upon the local highway network and subsequently the revisions are acceptable to the Highway Authority.

**Recommended conditions:**

Condition: The use shall not commence until the area(s) within the site shown on drawing no. 2066 DE 10-002 Rev O for the purposes of loading, unloading, manoeuvring and parking of vehicles has / have been provided and thereafter the area(s) shall be retained, maintained and used for no other purposes.

Reason: To ensure that sufficient areas for vehicles to be parked are provided in accordance with Suffolk Guidance for Parking 2019 where on-street parking and or loading, unloading and manoeuvring would be detrimental to the safe use of the highway.

Condition: Before any building is constructed above ground floor slab level details of the areas to be provided for the secure, covered and lit cycle storage including electric assisted cycles shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To promote sustainable travel by ensuring the provision at an appropriate time and long term maintenance of adequate on-site areas and infrastructure for the storage of cycles and charging of electrically assisted cycles in accordance with Suffolk Guidance for Parking 2019.

Condition: Before the development is commenced details of the infrastructure to be provided for electric vehicle charging points shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose

Reason: To provide EV charging infrastructure in accordance with Suffolk Guidance for Parking (2019)

Condition: Before the development is commenced, details of the areas to be provided for the storage and presentation for collection/emptying of refuse and recycling bins shall be submitted to and approved in writing by the Local Planning Authority.

The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that space is provided for refuse and recycling bins to be stored and presented for emptying and left by operatives after emptying clear of the highway and access to avoid causing obstruction and dangers for the public.

Yours sincerely,

**Ben Chester**  
**Senior Transport Planning Engineer**  
Growth, Highways and Infrastructure

From: Water Hydrants  
Sent: 27 October 2021 11:42  
To: BMSDC Planning Area Team Pink  
Subject: FW: MSDC Planning Re-consultation Request - DC/21/04358

Fire Ref.: F216191

FAO: Vincent Pearce

Good Morning,

Thank you for your letter regarding the re-consultation for this site.

The Suffolk Fire & Rescue Service made comment on the original planning application of 2351/16, which we note was published. We did request a Condition in the Decision Notice for Fire Hydrants. If that has not been added, please ensure that there is a Condition for the re-consultation.

If you have any queries, please let us know, quoting the Fire Ref. above.

Kind regards,  
A Stordy  
Admin to Water Officer  
Fire and Public Safety Directorate, SCC

**From:** Chris Ward  
**Sent:** 01 November 2021 12:59  
**To:** Vincent Pearce  
**Cc:** BMSDC Planning Area Team Pink  
**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/04358

Dear Vincent,

Thank you for consulting me about the re-consultation. On reviewing the documents I have no comment to make.

Kind regards

**Chris Ward**  
Active Travel Officer  
Transport Strategy  
Strategic Development - Growth, Highways and Infrastructure  
Suffolk County Council

# Consultee Comments for Planning Application DC/21/04358

## Application Summary

Application Number: DC/21/04358

Address: Land At Blackacre Hill Bramford Road Great Blakenham Suffolk

Proposal: Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

Case Officer: Vincent Pearce

## Consultee Details

Name: Miss Tegan Chenery

Address: Endeavour House, 8 Russell Road, Needham Market Ipswich, Ipswich IP1 2BX

Email: Not Available

On Behalf Of: Heritage Team

## Comments

Hello Vincent,

DC/21/04358 Land at Blackacre Hill, Bramford Road, Great Blakenham

The Heritage Team have no comments to provide on the above application.

Tegan Chenery BA(Hons) MSt

Heritage and Design Officer

Babergh and Mid Suffolk District Councils - Working Together



04 October 2021

Vincent Pearce  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX  
By email only

---

*Thank you for requesting advice on this reserved matters and discharge of conditions from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

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**Application:** DC/21/04358  
**Location:** Land At Blackacre Hill Bramford Road Great Blakenham Suffolk  
**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

Dear Vincent,

Thank you for re-consulting Place Services on the above reserved matters application.

**Summary**

We have reviewed the further submitted documents for this reserved matter application, provided by the applicant on the 25<sup>th</sup> October 2021.

We have also reviewed the Dormouse Survey Report (Abrehart Ecology, Nov 2016), Construction Environmental Management Plan - Biodiversity (Abrehart Ecology, June 2017), Reptile Mitigation Strategy (Abrehart Ecology, June 2017) and (Abrehart Ecology) and Badger Survey Report (Abrehart Ecology, May 2017) submitted and approved under the previous discharge of condition application (DC/17/03851).

We note no further information has been provided to address the queries raised in Place Services Ecology initial comments (04 October 2021). As a result, request that these comments are still followed for this application.

Please contact us with any queries.



Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.





04 October 2021

Vincent Pearce  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX  
By email only

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*Thank you for requesting advice on this reserved matters and discharge of conditions from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

---

**Application:** DC/21/04358  
**Location:** Land At Blackacre Hill Bramford Road Great Blakenham Suffolk  
**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

Dear Vincent,

Thank you for consulting Place Services on the above reserved matters application.

**Summary**

We have reviewed the submitted documents for this reserved matter application, including the Site Layout Plan – Rev G (Barefoot & Gilles, July 2021).

We have also reviewed the Dormouse Survey Report (Abrehart Ecology, Nov 2016), Construction Environmental Management Plan - Biodiversity (Abrehart Ecology, June 2017), Reptile Mitigation Strategy (Abrehart Ecology, June 2017) and (Abrehart Ecology) and Badger Survey Report (Abrehart Ecology, May 2017) submitted and approved under the previous discharge of condition application (DC/17/03851).

It is indicated that the approved ecological reports are out of date to support this application, in line with CIEEM Guidance<sup>1</sup>. As a result, it would be useful for the applicant's ecologist to carry out a site

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<sup>1</sup> CIEEM (2019) Advice note on the Lifespan of Ecological Reports and Surveys - <https://cieem.net/wp-content/uploads/2019/04/Advice-Note.pdf>



visit and provide an ecological addendum to update the ecological information for this application. This should provide appropriate justification, on:

- The validity of the initial reports;
- Which, if any, of the surveys need to be updated; and
- The appropriate scope, timing and methods for the update survey(s).

If it is considered necessary that further mitigation measures are required this scheme, then this preferably should be secured via an updated Construction Environmental Management Plan - Biodiversity.

We note that the Site Layout Plan – Rev G (Barefoot & Gilles, July 2021) is not supported by detailed soft landscaping information. This should include the proposed planting specification and schedules, as well suitable details of implementation to ensure that plants will establish successfully, in line with condition 34 of the initial application (DC/20/03891). However, it is accepted that these measures could be secured via a discharge of condition application.

We also encourage the applicant to demonstrate biodiversity net gains for this application, in line with paragraph 174d of the NPPF 2021. This could include the provision of native species planting appropriate for the local variation of species and a range of bespoke biodiversity enhancement measures within the soft landscaping area, which could be secured at reserved matters or as separate condition of any consent. All ecological enhancement proposals should be informed by a suitably qualified ecologist to ensure certainty that suitable measures will be implemented for this application

Furthermore, it is indicated that a wildlife friendly lighting scheme should be provided for this application, in line with condition 8 of the initial application (DC/20/03891). However, it is also accepted that these measures could be secured via a discharge of condition application, prior to beneficiary use. The lighting strategy should follow BCT & ILP Guidance<sup>2</sup> and a professional ecologist should be consulted to advise on the likely ecological impacts from this scheme. Ideally, the following measures should be indicated to avoid impacts to foraging and commuting bats:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Environmentally Sensitive Zones should be established within the development, where lighting could potentially impact important foraging and commuting routes for bats.
- Lux levels and horizontal lighting should be directed away from boundary edges and Environmentally Sensitive Zones and kept as low as possible. This should preferably demonstrate that the boundary features and Environmentally Sensitive Zones are not exposed to lighting levels of approximately 1 lux. This is necessary to ensure that light sensitive bat species, will not be affected by the development.
- Warm White lights should be used preferably at <3000k within Environmentally Sensitive Zones. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- Light columns should be as short as possible as light at a low level reduces the ecological impact.

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<sup>2</sup> ILP, 2018. Bat Conservation Trust Guidance Note 08/18: Bats and artificial lighting in the UK



- The use of cowls, hoods, reflector skirts or shields could be used to prevent horizontal spill in Environmentally Sensitive Zones.

Please contact me with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

17/11/2021

For the attention of: Vincent Pearce

**Ref: DC/21/04358; Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk**

Thank you for consulting us on the application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck. This letter sets out our consultation response on the landscape impact of the planning application and how the proposed layout and design relates and responds to the landscape setting and context of the site.

We note that some recommendations from our letter dated 06/09/2021 have been made, however we believe there are still fundamental issues with the landscape proposals of the site that need to be resolved.

The landscaping of the site is an opportunity to provide a coherent canvas for the units to sit within. There is potential that as individual phases come forward that the quality and quantity of landscape provision, for the site as a whole, could be degraded. As stated in our previous letter it is our judgement that the amendments to the layout of unit 1 & 2 are significant in terms of visual impact, visual amenity and biodiversity.

It should also be noted that Condition 34 Soft Landscaping and 35 Hard Landscaping of the granted outline permission 2351/16 (amended 1755/17) are concurrent with the reserved matters application and have only been partly discharged (unit 4 only) under application DC/19/05259.

The approved landscape masterplan produced to discharge condition 32 of granted outline permission 2351/16 (DC/19/01775 – Dwg Ref LSDP 11365-05\_RevD) indicated over 1,750m<sup>2</sup> of planting between units 1 & 2, the majority of which was focused along the boundaries. This application has not provided close to that quantity and for that reason we **cannot support** this application on the grounds of insufficient landscape provision and recommend that a revised scheme of hard, soft landscaping works and boundary treatment for this phase is submitted to fulfil the requirements of conditions 34 and 35 as referenced above.

If you have any queries regarding the above, please let me know.

Kind regards,

Kim Howell BA (Hons) DipLA CMLI  
Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils.** Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

06/09/2021

For the attention of: Vincent Pearce

**Ref: DC/21/04358; Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk**

Thank you for consulting us on the application for Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck. This letter sets out our consultation response on the landscape impact of the planning application and how the proposed layout and design relates and responds to the landscape setting and context of the site.

This site benefits from previously granted permission including the discharge of landscape conditions (DC/19/01775), however the layout and arrangement of the proposed site has changed significantly from the approved scheme. The buildings are now joined and located to the north of the plot and the vehicle entry point and carparking has been altered.

The information supplied with this revised layout was insufficient for us to provide a comprehensive landscape response. There was a lack of information on both the soft and hard landscape elements of the proposal which needs to be addressed.

In response to the information supplied we have the following observations and recommendation:

1. There are several trees which we believe will struggle to establish and reach their amenity and ecological value. In particular:
  - The trees directly adjacent to Unit 1 in the carpark are in extremely small planting areas. While it is entirely possible to plant these trees we would be looking for further details of the tree pit and how the establishment and long term value will be ensured.
  - An entrance canopy is shown on Unit 1 on Dwg 2066 DE 20-002\_D but is missing from 2066 DE 10-002 G and also from the elevations drawing. The canopy could compete with the proposed trees in the carparking area to the east. Clarification is sought.
  - Trees are indicated between the lower carpark area and the elevated road to the west. Further information should be supplied to ensure that consideration has been given to the establishment and root needs of the tree. This is to ensure that the structure is not compromised resulting in the future removal of the tree.
2. There is an excess of hardstanding outside both units and the opportunity to provide 'green space' has not been fully exploited; the opportunity to improve the sites biodiversity has been reduced meanwhile the surface water run-off requires further consideration.

3. There are no opportunities provided for staff and visitors to use the outdoor space during breaks.
4. There is a discrepancy between drawings; the entrance canopy of Unit 1 is included on some drawing but not others. There would potentially be a landscape implication as this would be above some of the planting beds.
5. The areas of planting provided have not been used strategically to create zones of use; they do not provide adequate screening or barriers between staff vehicles, delivery trucks and pedestrian movements.
6. There appears to be no cycle parking provision for Unit 1
7. Vehicle parking has been pushed up against the building and therefore requires pedestrians to walk on the vehicle surface.
8. The opportunity for planters to be used on the parking deck of Unit 2 and green roofs to the building to improve biodiversity of the site should be explored.
9. The area at the top of the emergency ramp of Unit 1 should not be a parking space to allow for free pedestrian movement. It should be identified as 'not for parking' by providing yellow line hatching or demarcated by bollards.

In light of the layout change we recommend that a revised scheme of hard, soft landscaping works and boundary treatment for the site be submitted. This should include any proposed changes in ground levels and also accurately identify spread, girth and species of all existing trees, shrubs and hedgerows in the surrounding area. A specification of soft landscaping, including proposed trees, plants and seed mixes must be included. The specification should be in line with British Standards and include details of planting works such as preparation, implementation, materials (i.e. soils and mulch), any protection measures that will be put in place (i.e. rabbit guards) and any management regimes (including watering schedules) to support establishment. This should be accompanied by a schedule, with details of quantity, species and size/type (bare root, container etc). Hard landscape details such as surface materials and boundary treatments must also be included.

If you have any queries regarding the above, please let me know.

Kind regards,

Kim Howell BA (Hons) DipLA CMLI  
Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils.** Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

**From:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>  
**Sent:** 18 Nov 2021 01:23:21  
**To:**  
**Cc:**  
**Subject:** FW: (299861) DC/21/04358. Land Contamination  
**Attachments:**

---

**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>  
**Sent:** 17 November 2021 13:01  
**To:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>  
**Cc:** Vincent Pearce <Vincent.Pearce@baberghmidsuffolk.gov.uk>  
**Subject:** (299861) DC/21/04358. Land Contamination

EP Reference: 299861  
DC/21/04358. Land Contamination  
Land At Blackacre Hill, Bramford Road, Great Blakenham, IPSWICH, Suffolk.  
Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction

Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to land contamination.

Regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)  
Work: 01449 724715  
websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

*I am working flexibly - so whilst it suits me to email now, I do not expect a response or action outside of your own working hours*

# Consultee Comments for Planning Application DC/21/04358

## Application Summary

Application Number: DC/21/04358

Address: Land At Blackacre Hill Bramford Road Great Blakenham Suffolk

Proposal: Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

Case Officer: Vincent Pearce

## Consultee Details

Name: Mr James Fadeyi

Address: Mid Suffolk District Council Depot, Creeting Road West, Stowmarket, Suffolk IP14 5AT

Email: Not Available

On Behalf Of: MSDC - Waste Manager (Major Developments)

## Comments

Good Afternoon,

Thank you for your email re-consultation on the reserved matters application DC/21/04358.

Waste services do not have no objection to this application.

Kind regards,

James Fadeyi

Waste Management Officer - Waste Services



**From:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>

**Sent:** 23 Nov 2021 10:21:15

**To:**

**Cc:**

**Subject:** FW: DC/21/04358

**Attachments:**

---

**From:** Peter Chisnall <Peter.Chisnall@baberghmidsuffolk.gov.uk>

**Sent:** 19 November 2021 15:34

**To:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>; Vincent Pearce <Vincent.Pearce@baberghmidsuffolk.gov.uk>

**Subject:** DC/21/04358

Dear Vincent,

**APPLICATION FOR RESERVED MATTERS - DC/21/04358**

**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

**Location:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Many thanks for your request to comment on the Sustainability/Climate Change Related aspects of this application.

I have little to add to my previous comment dated 27<sup>th</sup> August 2021, the only point being that the Electric Vehicle charging units and infrastructure detailed in the site layout plan is to be welcomed and will be commented on at the point of potential discharge of Conditions 13 and 14 of the original planning application.

Regards,

Peter

**Peter Chisnall**, CEnv, MIEMA, CEnvH, MCIEH

Environmental Management Officer

**Babergh and Mid Suffolk District Council - Working Together**

Tel: 01449 724611

Mob.: 07849 353674

Email: [peter.chisnall@baberghmidsuffolk.gov.uk](mailto:peter.chisnall@baberghmidsuffolk.gov.uk)

[www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

**From:** Peter Chisnall  
**Sent:** 27 August 2021 16:41  
**To:** BMSDC Planning Area Team Pink  
**Subject:** DC/21/04358

Dear Vincent,

**APPLICATION FOR RESERVED MATTERS - DC/21/04358**

**Proposal:** Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck

**Location:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Many thanks for your request to comment on the Sustainability/Climate Change mitigation related aspects of this re-consultation.

I am unable to comment on these matters as there are no documents yet published relating to sustainability as required by Conditions 13 and 14 of the orinal OPP DC/20/03891 dated: 17/02/2021.

I would take this opportunity to remind the applicant that within the sustainability strategy require within Condition 13, it should include details as to the provision for electric vehicles, please see the Suffolk Guidance for Parking, published on the SCC website on the link below:

<https://www.suffolk.gov.uk/planning-waste-and-environment/planning-and-development-advice/parking-guidance/>

Regards,

Peter

**Peter Chisnall**, CEnv, MIEMA, CEnvH, MCIEH  
Environmental Management Officer  
**Babergh and Mid Suffolk District Council - Working Together**

**From:** Nathan Pittam  
**Sent:** 07 September 2021 11:31  
**To:** BMSDC Planning Area Team Pink  
**Cc:** Vincent Pearce  
**Subject:** DC/21/04358. Air Quality

**EP Reference : 297040**  
**DC/21/04358. Air Quality**  
**Land At Blackacre Hill, Bramford Road, Great Blakenham, IPSWICH, Suffolk.**  
**Application for approval of Reserved Matters following approval of Outline**  
**Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance,**  
**Landscaping, Layout, and Scale in relation to the Construction of Phase -**

Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make in addition to those made at the 2020 outline application stage.

Kind regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD  
Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

**From:** David Harrold

**Sent:** 23 August 2021 15:13

**To:** BMSDC Planning Mailbox

**Cc:** Vincent Pearce

**Subject:** Plan ref DC/21/04358 Land At Blackacre Hill, Bramford Road, Great Blakenham.  
Environmental Health - Noise/Odour/Light/Smoke

Thank you for consulting me on the above application for approval of reserved matters relating to appearance, landscaping, layout and scale.

I can confirm with respect to noise and other environmental health issues that I do not have any comments to make.

David Harrold MCIEH  
Senior Environmental Health Officer

**Babergh & Midsuffolk District Councils**

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\*\*\*\*\*  
\*\*\*\*\*

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\*\*\*\*\*  
\*\*\*\*\*

Your Ref: DC/21/04358

Good morning,

Thank you for your consultation on planning application DC/21/04358. Having screened the application, the site in question lies outside the Internal Drainage District of the East Suffolk Internal Drainage Board. As the contents of the Reserved Matters in this application are not related to drainage matters, the Board has no comments to make.

Kind Regards,

Ella

Ella Thorpe BSc (Hons.), MSc, GradCIWEM Sustainable Development Officer Water Management Alliance

m: 07827356719 | dd: 01553 819622 | [ella.thorpe@wlma.org.uk](mailto:ella.thorpe@wlma.org.uk)

Registered office: Kettlewell House, Austin Fields Industrial Estate, King's Lynn, Norfolk, PE30 1PH

t: 01553 819600 | e: [info@wlma.org.uk](mailto:info@wlma.org.uk) | [www.wlma.org.uk](http://www.wlma.org.uk)

WMA members: Broads Drainage Board, East Suffolk Drainage Board, King's Lynn Drainage Board, Norfolk Rivers Drainage Board, South Holland Drainage Board, Waveney, Lower Yare and Lothingland IDB in association with Pevensey and Cuckmere Water Level Management Board

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Your feedback is valuable to us, as we continually review and work to improve our services. So, if you have any suggestions, recommendations, questions, compliments or complaints, please complete one of our online forms: [Feedback Form](#) | [Complaint Form](#)

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With our commitment to ISO 14001, please consider the environment before printing this e-mail.

-----Original Message-----

From: [planningpink@baberghmidsuffolk.gov.uk](mailto:planningpink@baberghmidsuffolk.gov.uk) <[planningpink@baberghmidsuffolk.gov.uk](mailto:planningpink@baberghmidsuffolk.gov.uk)>

Sent: 16 August 2021 20:10

To: Planning <[planning@wlma.org.uk](mailto:planning@wlma.org.uk)>

Subject: MSDC Planning Consultation Request - DC/21/04358

Please find attached planning consultation request letter relating to planning application - DC/21/04358 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Kind Regards

Planning Support Team

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**From:** Planning Liaison  
**Sent:** 01 November 2021 15:35  
**To:** BMSDC Planning Area Team Pink  
**Subject:** RE: MSDC Planning Re-consultation Request - DC/21/04358

Good afternoon Vincent

Thank you for your email consultation on the reserved matters application DC/21/04358

The reserved matters application is related to appearance, landscaping, layout, and floor plans therefore this application is outside of our jurisdiction to comment

Please do not hesitate to contact Anglian Water for drainage related matters

Kind regards

Sandra

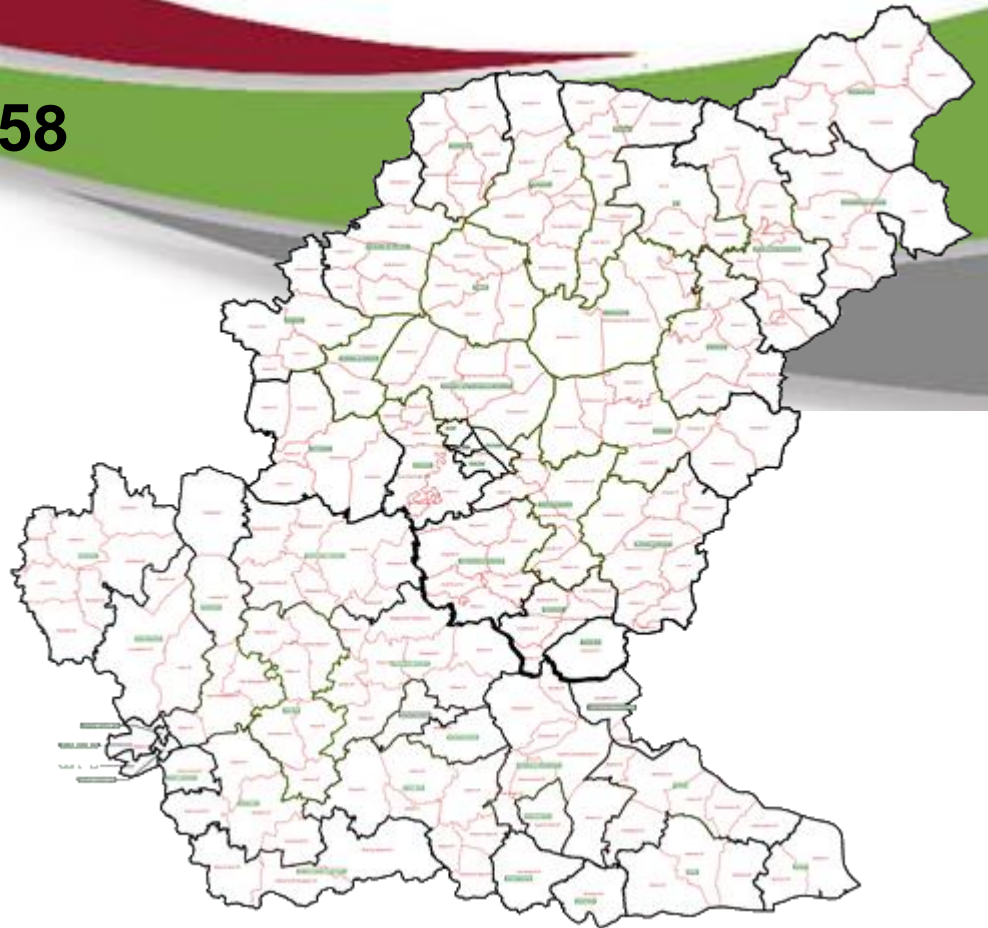
Sandra De Olim  
Pre-Development Advisor

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**Application No: DC/21/04358**

**Address:  
Land At Blackacre Hill,  
Bramford Road,  
Great Blakenham**



## Aerial Map

Slide 2



## Aerial Map – wider view

Slide 3



# Site Location Plan

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**NOTES**

18.05.2021	A	Final Issue	WSP	WSP
18.05.2021	A	Final Issue	WSP	WSP
18.05.2021	A	Final Issue	WSP	WSP

**barefoot & gilles**

Third Floor, Babergh House, 100 High Street, Babergh, Norfolk, NR10 1JL  
 2nd Floor, 100 High Street, Babergh, Norfolk, NR10 1JL  
 2nd Floor, 100 High Street, Babergh, Norfolk, NR10 1JL  
 2nd Floor, 100 High Street, Babergh, Norfolk, NR10 1JL

**Client:** Port One Great Blakenham  
**Team:** Team ABSL  
**Project:** Site Location Plan Plot 1

**Scale of Plan:** 1:1250 @A1  
**Date:** 07-05-2021

**SLA / Drawing No.:** 2066 DE 10-001  
**Revision:** B

**Drawing Title: PLANNING**

NO.	DATE	DESCRIPTION	BY	CHECKED
1	07-05-2021	Issue for Planning	WSP	WSP

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# Constraints Map

Slide 5

..... Footpath



# Site Layout Plan

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**NOTES**

- EV Denotes EV Parking
- EV Denotes spaces with EV Parking infrastructure provided
- Denotes ground mounted EV charging system
- Denotes wall mounted EV charging system
- Denotes wall mounted EV charging system infrastructure in place

10.02.2021	Q	Revised: annotations	MF	ASL
10.02.2021	16	Revised: Parking 10 position	LPJ	SLC
10.02.2021	18	Revised: site	MF	SLC
20.02.2021	L	Revised: Parking/footpaths	MF	SLC
16.02.2021	K	Revised: Unit 1.1	MF	SLC
17.02.2021	J	Revised: Unit 1.2	MF	SLC
18.02.2021	I	Revised: Unit 1	MF	SLC
19.02.2021	H	Revised: external paths	MF	SLC
20.02.2021	G	Revised: external paths	MF	SLC
22.02.2021	F	Revised: external paths	MF	SLC
10.02.2021	E	External parking reserved (not 1 car parking & vehicle wash identified)	MF	SLC
Site	Rev	Description	Drawn	Checked

**barefoot & gilles**

100 Barefoot Way, Boreham, Essex, UK. Tel: 01424 252524

100 Barefoot Way, Boreham, Essex, UK. Tel: 01424 252524

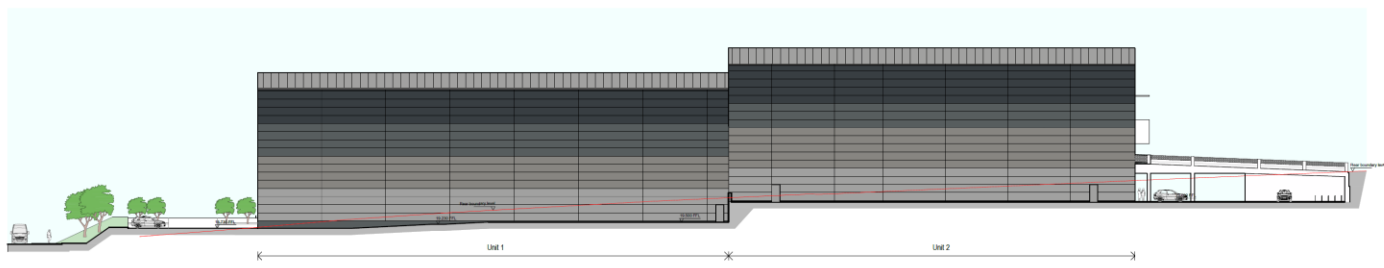
Project: Port One Great Blakenham  
 Team: ABSL  
 Drawing: Site Layout Plan Plot 1  
 Scale & Format: 1:250 @A1  
 Date: 25-10-2021  
 Date Drawing No: 2066 DE 10-002  
 Date Made No: O  
 Drawing Status: PLANNING

PROJECT NO.	DATE	TYPE	DRAWN BY
2066 DE 10-002	25-10-2021	PLANNING	MF

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# Elevations

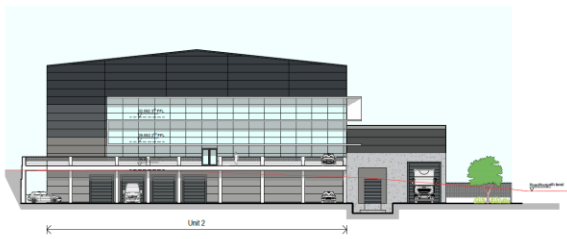
Page 359



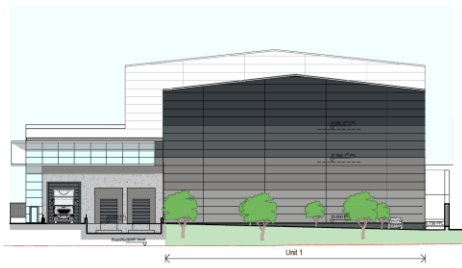
NORTHERN ELEVATION



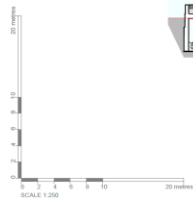
SOUTHERN ELEVATION



WESTERN ELEVATION



EASTERN ELEVATION



NOTES

08.10.2021	J	Sign Panelled	MF	RF
08.10.2021	I	Revised S&P 1 & 2	MF	RF
10.10.2021	H	Revised S&P 1 & 2	MF	RF
20.09.2021	G	Revised Car Park and Access from Boundary	MF	RF
24.07.2021	F	Revised S&P 2	MF	RF
23.07.2021	E	Revised S&P 1	MF	RF
08.07.2021	D	Adding 'Construction' S&P 1&2 to be added to S&P 1, S&P 2 and S&P 3	MF	RF
17.06.2021	C	Third Issue. Revised S&P	MF	RF
07.06.2021	B	Second Issue. Revised S&P	MF	RF
07.06.2021	A	First Issue	MF	RF
Date	Rev	Description	Drawn	Checked

**barefoot & giles**

Barefoot, Eilers House       Barefoot, Eilers House  
 21 Babergh Road, Leiston, Suffolk, UK      21 Babergh Road, Leiston, Suffolk, UK  
 Tel: 01473 723100      Tel: 01473 723100

Elevation only. No 3D. No Street Signage. No 3D. No 3D.

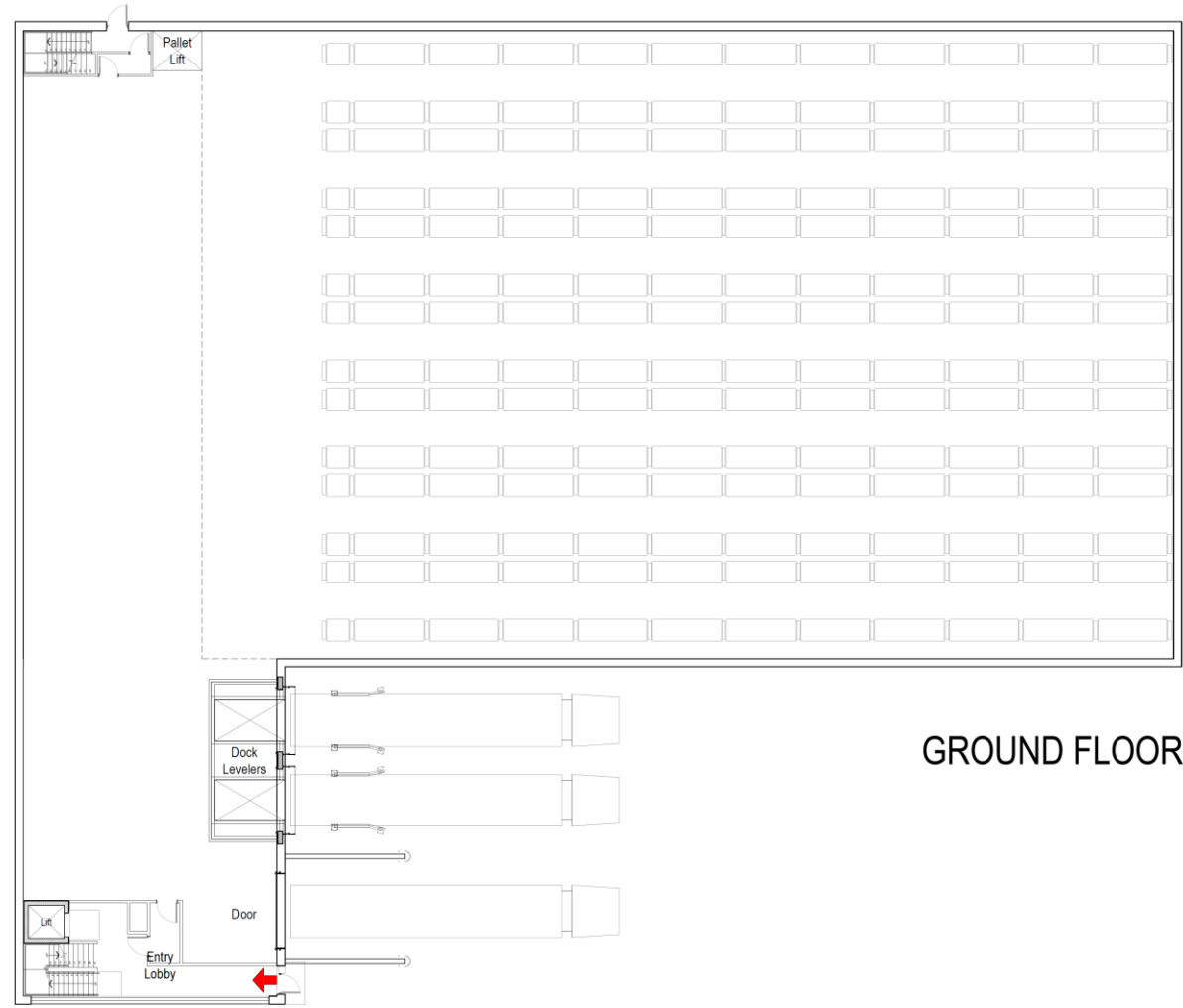
**Project:** Port One Great Blakenham Team ABSL  
**Client:** Team ABSL  
**Drawing:** Elevations Plot 1  
**Scale & Format:** 1:250 @A1  
**Date:** 20-10-2021  
**Drawn by:** 2066 DE 30-001  
**Revision:** J  
**Drawing Status:** PLANNING

NO.	DESCRIPTION	DATE	BY	CHECKED
01	Issue			
02	Revised			
03	Revised			
04	Revised			
05	Revised			
06	Revised			
07	Revised			
08	Revised			
09	Revised			
10	Revised			

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# Ground Floor Plan – Unit 1

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GROUND FLOOR



NOTES

12.10.2021	C	Revised Layout	HP	RL
06.10.2021	B	Revised Layout	HP	RL
23.07.2021	A	Final Issue	HP	RL
DRG	REV	Description	Drawn	Checked

**barefoot & gilles**

The 4 Floor, Ebbw Haven  
 Ebbw Vale, South Wales, Gwent, NP23 5TA  
 Tel: 01493 765100

23, Barrow Drive  
 23, Barrow Drive, Llanidloes, NP23 5LH  
 Tel: 01493 765100

Commercial Quay, 10 St. Asaph Street  
 Ebbw Vale, NP23 5LH  
 Tel: 01493 765100  
 ebng@barefootgilles.com www.barefootgilles.com

Project	Plot One, Unit 1	Date	
Client	Port One, Great Blakenham	Revision	
Drawing	Team ABSL		
	Floor Plan		
	Ground Floor		
Scale & Format	1:100 @A1	Date	12-10-2021
Scale	2066 DE 20-101	Revision	C
Drawing Title	PLANNING		

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Scale 1:100  
 10m  
 0 1 2 3 4 5 10 metres

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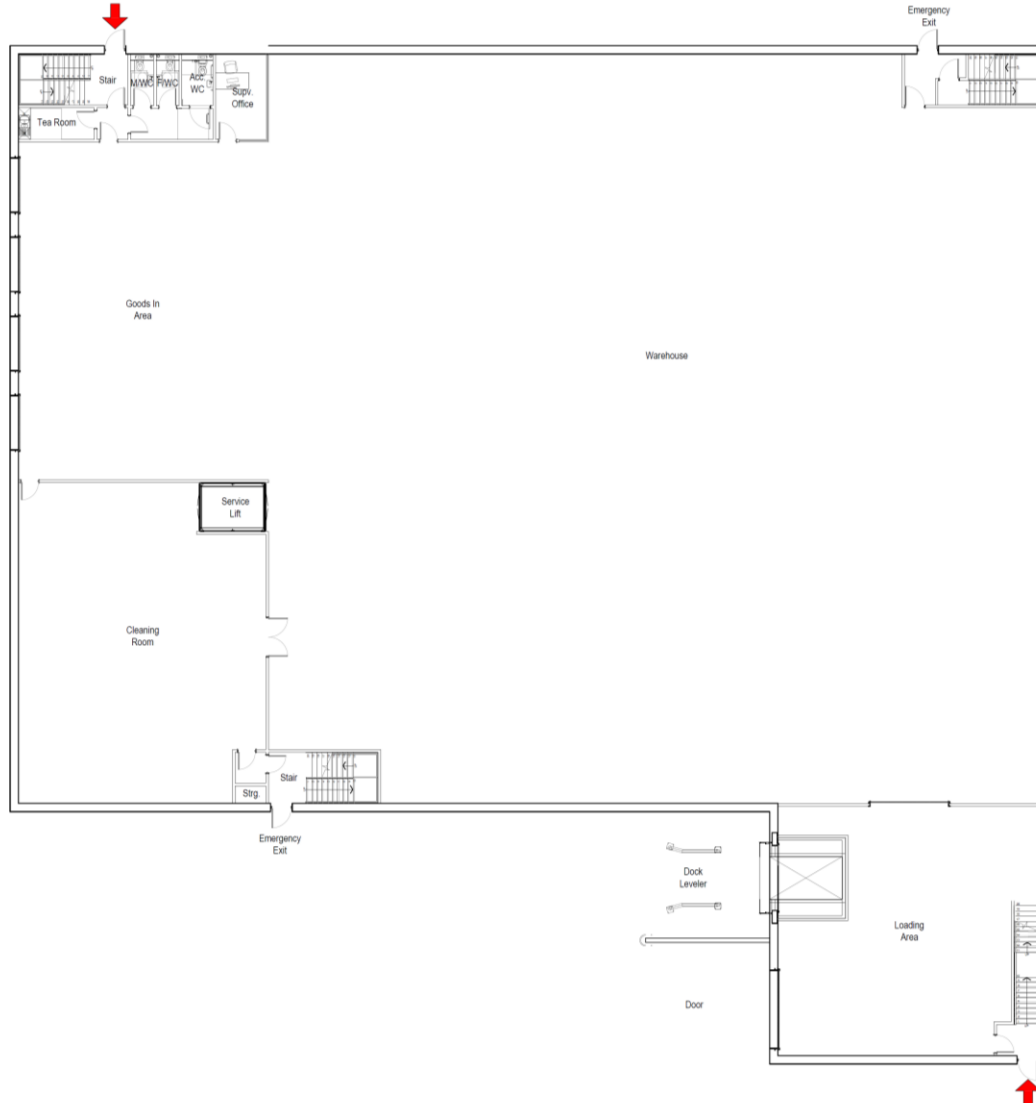






# Ground Floor Plan – Unit 2

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GROUND FLOOR  
10 metres

14-10-2021		B	Revised Floor Plan	SP	RG
12-10-2021		A	Final Issue	SP	RG
Date	Rev.	Description	Drawn	Checked	

**barefoot & gilles**

Plot Plan, Block House      Site Boundary Overlay  
 Other Block Layouts (2021 to 22)      Other Block Layouts (2018 to 20)

Commercial Plans, 10-15, Priory Street  
 Ipswich, Suffolk IP1 1SD  
 Tel: 01473 201000  
 barefoot@gilgilles.com     www.barefootgilgilles.com

Project	Plot One, Unit 2 Port One, Great Blakenham		Date	14-10-2021
Client	Team ABSL		Revision	B
Drawing	Floor Plans Ground Floor			
Scale & Format	1:100 @A1			
BCH Drawing No.	2066 DE 20-010			
Drawing Title	PLANNING			

**PLANNING**

PROJECT NO.	DATE	TYPE	STATUS
1001	14-10-2021	Site Plan	Approved
1002	14-10-2021	Site Plan	Approved
1003	14-10-2021	Site Plan	Approved
1004	14-10-2021	Site Plan	Approved
1005	14-10-2021	Site Plan	Approved
1006	14-10-2021	Site Plan	Approved
1007	14-10-2021	Site Plan	Approved
1008	14-10-2021	Site Plan	Approved
1009	14-10-2021	Site Plan	Approved
1010	14-10-2021	Site Plan	Approved

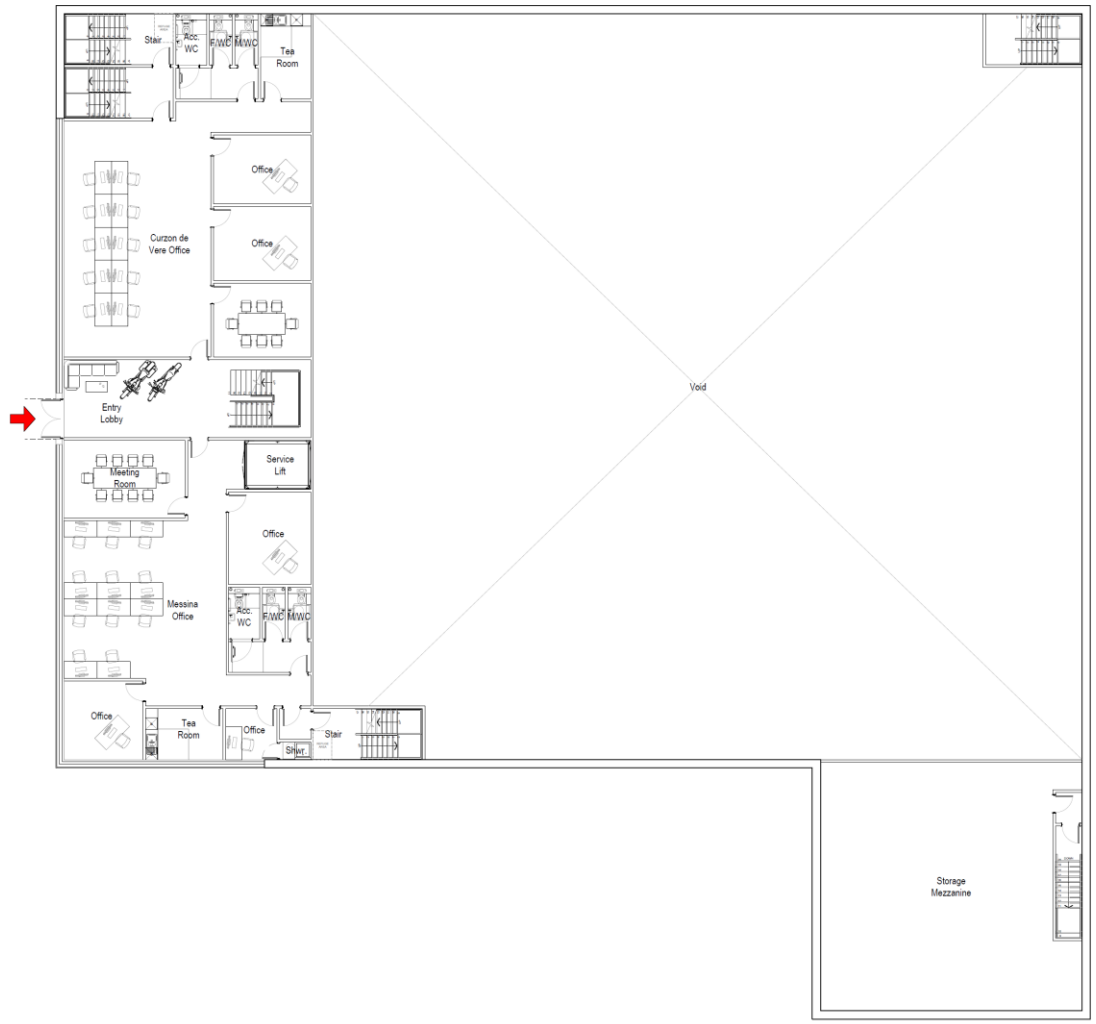
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# First Floor Plan – Unit 2

Slide 13

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FIRST FLOOR  
0 10 metres

14.10.2021	B	Revised Floor Plan	WFL	PLG
12.10.2021	A	Final Issue	WFL	PLG
Date	Rev	Description	Drawn	Checked

**barefoot & gilles**  
 Third Floor, Essex House, 12 Essex Street, London, EC2A 4PU, UK. Tel: 020 7323 1288  
 228 Business Centre, 20 Boston Road, Colchester, CO1 2JH, UK. Tel: 01206 873860  
 www.barefootandgilles.com

Project	Plot One, Unit 2 Port One, Great Blakenham		
Client	Team ABSL		
Drawing	Floor Plans First Floor		
Scale & Format	1:100 @A1	Date	14-10-2021
UK Drawing No.	2066 DE 20-011	Revision	B
Drawing Status	PLANNING		

DATE	BY	REVISIONS	DATE
14-10-2021	WFL	1. Issue for Planning	14-10-2021

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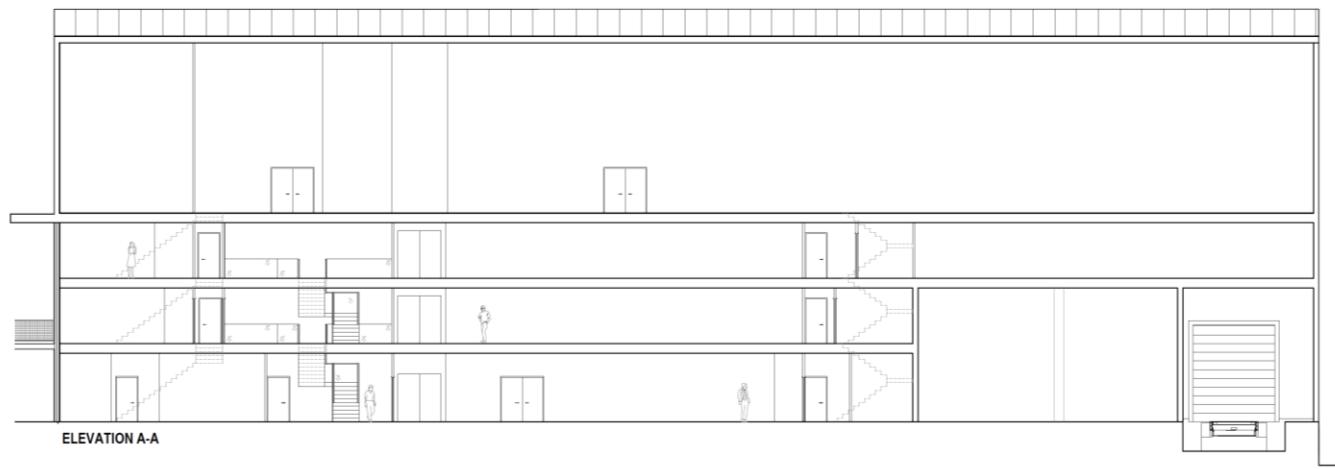




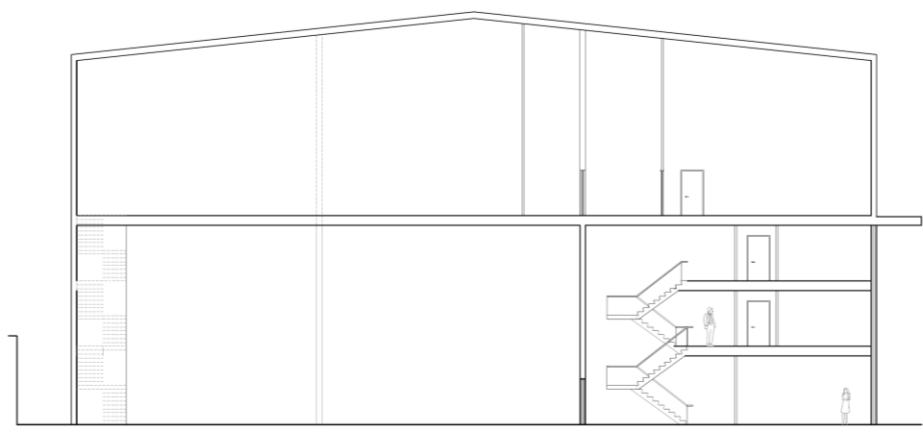


# Sections

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ELEVATION A-A



ELEVATION B-B



28.07.2021	C	Revised Floor Plans	BP	HC
17.06.2021	B	Second Year Additional Drawings & Fourth Floor	BP	HC
28.03.2021	A	Final Issue	BP	HC

Date:    No:    Description:    Drawn:    Checked:

**barefoot & gilles**

Third Floor, Eileen House  
2 Church Street, Ipswich, Suffolk, IP1 1LJ  
Tel: 01473 755100

Off Business Centre  
20 Station Road, Cambridge, CB1 1LQ  
Tel: 01223 622200

2 Covered Court, 16 St. Peters Street  
Ipswich, Suffolk, IP1 1QS  
Tel: 01473 625700  
design@barefootgilles.com    www.barefootgilles.com

Project: **Port One Great Blakenham**  
Client: **Team ABSL**  
Drawing: **Unit 2 - Elevations A-A & B-B**

Scale & Format: **1:100 @A1** Date: **25-05-2021**

Job Drawing No: **2066 DE 40-001** Revision: **C**

Drawing Status: **PLANNING**

Project No.	ISSUE	TYPE	DATE
2066 DE 40-001	01 - Issue	01 - Final Approval	25-05-2021
	02 - Change	02 - Change	
	03 - Amendment	03 - Amendment	
	04 - Change	04 - Change	
	05 - Issue Update	05 - Issue Update	

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# Agenda Item 6d

## Committee Report

**Item No:** 6D

**Reference:** DC/21/05820

**Case Officer:** Vincent Pearce, Averil Goudy

**Ward:** Blakenham.

**Ward Member/s:** Cllr John Field.

---

## **RECOMMENDATION – THAT THE CHIEF PLANNING OFFICER APPROVE RESERVED MATTERS WITH CONDITIONS**

---

### **Description of Development**

Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road.

### **Location**

Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Expiry Date:** 24/01/2022

**Application Type:** RES - Reserved Matters

**Development Type:** Major Large Scale - Manu/Ind/Storg/Wareh

**Applicant:** Curzon de Vere

**Agent:** The JTS Partnership LLP

**Parish:** Great Blakenham

**Details of Previous Committee / Resolutions and any member site visit:** None

**Has a Committee Call In request been received from a Council Member (Appendix 1):** No

**Has the application been subject to Pre-Application Advice:** No

---

## **PART ONE – POLICIES AND CONSULTATION SUMMARY**

---

### **Summary of Policies**

The Adopted Development Plan for Mid Suffolk District Council comprises the Mid Suffolk Core Strategy Focused Review (2012), the Mid Suffolk Core Strategy (2008) and the Mid Suffolk Local Plan (1998), specifically the live list of 'saved policies' (2007). The following are considered the most relevant to the determination of this proposal.

NPPF - National Planning Policy Framework

Adopted Mid Suffolk Core Strategy (2008)

CS01 - Settlement Hierarchy

CS02 - Development in the Countryside & Countryside Villages  
CS03 - Reduce Contributions to Climate Change  
CS04 - Adapting to Climate Change  
CS05 - Mid Suffolk's Environment

Adopted Mid Suffolk Core Strategy Focused Review (2012)

FC01 - Presumption In Favour Of Sustainable Development  
FC01\_1 - Mid Suffolk Approach To Delivering Sustainable Development  
FC03 - Supply Of Employment Land

Adopted Mid Suffolk Local Plan (1998)

GP01 - Design and layout of development  
SB02 - Development appropriate to its setting  
H17 - Keeping residential development away from pollution  
CL08 - Protecting wildlife habitats  
CL09 - Recognised wildlife areas  
CL11 - Retaining high quality agricultural land  
E03 - Warehousing, storage, distribution and haulage depots  
E04 - Protecting existing industrial/business areas for employment generating uses  
E06 - Retention of use within existing industrial/commercial areas  
E09 - Location of new businesses  
E10 - New Industrial and commercial development in the countryside  
E11 - Re-use and adaption of agricultural and other rural buildings  
E12 - General principles for location, design and layout  
T09 - Parking Standards  
T10 - Highway Considerations in Development  
T11 - Facilities for pedestrians and cyclists  
T12 - Designing for people with disabilities

Status of Adopted Local Plan (1998)

A number of policies within the Plan have now been held to be 'out-of-date' as a result of recent planning appeal decisions on the basis of Inspectors declaring them to be inconsistent with the NPPF. On this basis the tilted balance required by paragraph 11 of the NPPF may need to be brought into play but this will need to be tempered against the Adopted Development Plan where and if relevant policies remain valid and continue to attract significant weight as material planning considerations dependent upon their consistency with the NPPF. This cannot, however, supplant the statutory duty to make decisions in accordance with the development plan unless such considerations indicate otherwise.

Members are reminded however that this is a Reserved Matters application and therefore the policies in the Adopted Development Plan that deal with the principle of development and its location are less relevant to the consideration of the proposal.

Draft Joint Local Plan Submission Document 2021 [Reg 22]

Policy SP09 - Enhancement and Management of the Environment  
Policy SP10 - Climate Change  
Policy LP12 - Employment Development  
Policy LP17 - Environmental Protection  
Policy LP19 - Landscape  
Policy LP25 - Sustainable Construction and Design  
Policy LP26 - Design and Residential Amenity  
Policy LP27 - Energy Sources, Storage and Distribution

## Policy LP28 - Water resources and infrastructure

Now that the Draft Joint Local Plan has reached Reg 22 stage (Submission) it begins to carry some weight as a material planning consideration. In part that weight depends upon the nature of and degree of conflict over issues that are to be explored at the Examination.

### The National Planning Policy Framework (NPPF)

The National Planning Policy Framework (NPPF) 2021 contains the Government's planning policies for England and sets out how these are expected to be applied. Planning law continues to require that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise. The policies contained within the NPPF are a material consideration and should be taken into account for decision-taking purposes.

Particularly relevant elements of the NPPF include:

Section 2: Achieving Sustainable Development

Section 4: Decision Making

Section 6: Building a Strong, Competitive Economy

Section 12: Achieving Well-Designed Places

Section 15: Conserving and Enhancing the Natural Environment

### The National Planning Practice Guidance (NPPG)

The National Planning Practice Guidance (NPPG) provides guidance and advice on procedure rather than explicit policy; however, it has been taken into account in reaching the recommendation made on this application.

### Other Considerations

- Ipswich Policy Area
- Suffolk County Council- Suffolk's Guidance for Parking (2014 updated 2019)
- BMSDC Open for Business Strategy
- Grow on Space Supply and Demand Analysis (October 2019)

### **Neighbourhood Plan Status**

This application site is not within a Neighbourhood Plan Area.

The site is situated in close proximity to the neighbouring Parish of Sproughton [Babergh District]. Sproughton is currently in the process of preparing their Neighbourhood Development Plan [Reg 14 Pre-Submission Consultation] and whilst it does not cover Gt Blakenham the application site is adjacent to the defined Sproughton Neighbourhood Plan Area. Sproughton has within its boundary a Designated Enterprise Area and reference may be made to the relevance of this to the application at hand in this report or in the associated presentation.

### **Consultations and Representations**

During the course of the application Consultation and Representations from third parties have been received. These are summarised below.

#### **A: Summary of Consultations**

#### **Town/Parish Council (Appendix 3)**

**Great Blakenham Parish Council**

No response received to date [consultation originally expired 16 November 2021].

**Claydon and Whitton Parish Council**

No response received to date [consultation originally expired 16 November 2021].

**Little Blakenham Parish Council**

No response received to date [consultation originally expired 16 November 2021].

**National Consultee (Appendix 4)****Highways England**

“National Highways is a strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). In respect to this planning application, the nearest SRN Trunk Road is the A14. We have reviewed the details and information provided. The location of the development site is remote from the A14 Trunk Road, and is not linked to any larger development. Therefore, there is unlikely to be any adverse effect upon the Strategic Road Network. Consequently, we offer No Comment.”

**Historic England**

“Thank you for your letter of 26 October 2021 regarding the above application for planning permission. On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant.”

**Natural England**

“Natural England has previously commented on this proposal and made comments to the authority in our letter ref – 187778, dated 22 July 2016.

The advice provided in our previous response applies equally to this proposal.

The proposed amendments to the original application are unlikely to have significantly different impacts on the natural environment than the original proposal.”

**Ministry Of Defence (Statutory)**

“I can confirm the MOD has no safeguarding objections to this proposal.”

**Environment Agency**

No response received to date.

**County Council Responses (Appendix 5)****SCC Archaeology**

No response received to date.

**SCC Developer Contributions**

No response received to date.

**SCC Flood and Water Management**

“I have reviewed the following documents and would advise you not to approve this application until an acceptable SW drainage strategy is approved. This is because: it is important that levels and layout

matters/conditions are not cleared before SW drainage matters, since as illustrated in the attached comments on DC/20/01175, the layout and levels will need to be informed by the drainage FRA/Strategy.”

**Officer comment:** *The application before Members is reserved matters for Phase 6/Unit 6 within the wider context of the Port One Logistics Park. Whilst SCC Floods concerns are noted, there is sufficient space within the wider site, owned by the applicant to accommodate the appropriate drainage basis and necessary surface water drainage. This has previously been conditioned (Condition 6) on approval DC/20/03891.*

### **SCC Highways**

“Following the submission of a further amended plan showing additional parking provision and pedestrian access, we are satisfied with the proposal.

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

Condition: The use shall not commence until the area(s) within the site shown on drawing no. 2175-DE-10-111 Rev I for the purposes of loading, unloading, manoeuvring and parking of vehicles, secure cycle storage and EV charging infrastructure have been provided and thereafter the area(s) shall be retained, maintained and used for no other purposes.

Reason: To ensure that sufficient areas for vehicles to be parked are provided in accordance with Suffolk Guidance for Parking 2019 where on-street parking and or loading, unloading and manoeuvring would be detrimental to the safe use of the highway and to encourage sustainable travel.”

### **SCC Fire and Rescue**

“The Suffolk Fire & Rescue Service do not need to comment on this planning application. However, we do expect there to be a Condition for the installation of Fire Hydrants on this site, that should follow this build to its conclusion, as requested in our published letter for the original planning application 2351/16.”

### **SCC Travel Plan**

“Thank you for consulting me about the reserved matters application at Land at Blackacre Hill in Great Blakenham. On reviewing the documents I have no comment to make.”

### **SCC Rights of Way**

No response received to date.

## **Internal Consultee Responses (Appendix 6)**

### **Heritage Team**

“The Heritage Team have no comments to provide on the above application.”

### **Place Services Ecology**

“We have reviewed the submitted documents for this application. In addition, we have re-assessed the Protected Species Survey Report (Abrehart Ecology Ltd May 2016), submitted by the applicant at outline stage, relating to the likely impacts of the development upon designated sites, protected and Priority species & habitats.

As a result, it is indicated that we are still satisfied that appropriate mechanisms have been secured to mitigate impacts for protected and Priority species for this application.

However, we note that no detailed soft landscaping measures have been outlined for this application, as required under condition 34 of the outline consent. As a result, further information on the planting specifications and schedules should be submitted prior to approval of the reserved matters, in line with the requirements of the soft landscaping condition. This should preferably include correspondence with a suitably qualified ecologist, to ensure biodiversity net gains are delivered into the design of the proposals, in line with paragraph 174d of the NPPF.

Furthermore, A wildlife friendly lighting scheme must also be provided prior to occupation for this application (as required under condition 8 of the outline consent). This should follow ILP Guidance<sup>1</sup> and should demonstrate that the following measures will be implemented, via the provision of technical specifications of any external lighting:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Environmentally Sensitive Zones should be established within the development, where lighting could potentially impact important foraging and commuting routes for bats.
- Lux levels and horizontal lighting should be directed away from boundary edges and Environmentally Sensitive Zones and kept as low as possible. This should preferably demonstrate that the boundary features and Environmentally Sensitive Zones are not exposed to lighting levels of approximately 1 lux. This is necessary to ensure that light sensitive bat species, will not be affected by the development.
- Warm White lights should be used preferably at <3000k within Environmentally Sensitive Zones. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- Light columns should be as short as possible as light at a low level reduces the ecological impact.
- The use of cowls, hoods, reflector skirts or shields could be used to prevent horizontal spill in Environmentally Sensitive Zones.”

**Officer comment:** *The application before Members is reserved matters for Phase 6/Unit 6 within the wider context of the Port One Logistics Park. These conditions have already been secured on the wider site area under DC/20/03891.*

### **Place Services Landscape**

“Thank you for consulting us on the application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road.

The application for reserved matters is supported by a site layout plan, sections through the site and elevations of the building. Prior to determination, we would advise the following observations and recommendations are taken into consideration:

- Details of existing trees; removed or retained were missing from the plans.
- There are no details regarding the proposed boundary treatments or surface materials on the plans.
- There was no key to the site layout plan. Further details are required for the green areas. In order to provide visual interest and biodiversity on site we recommend that these areas should be planted rather than laid to grass.
- There are significant earthworks planned for the western edge of the site to allow the building to sit in the sloped landscape. Details of the proposed earth works and their impact on the existing landscape features off site should be considered and mitigation measure should be outlined along with details of any proposed retaining feature.
- The carpark has been located adjacent to the office area and would be afforded a level of passive surveillance though it may still benefit from fencing to provide a secure enclosure for staff parking.



- The provision of the outdoor seating area is welcomed, though with further development planned directly to the south of the site (DC/20/01175 – LSDP 11365-05 RevG) we would have concerns that the space may become shaded by future buildings.
- There are no indications on how surface water will be dealt with on site. We recommend that any proposed SuDS features be considered at an early stage to ensure they can be effectively and aesthetically incorporated into the landscape scheme.

It should also be noted that Condition 34 Soft Landscaping and 35 Hard Landscaping of the granted outline permission 2351/16 (amended 1755/17) are to be submitted concurrent with the reserved matters application and have only been partly discharged (unit 4 only) under application DC/19/05259. Therefore, we recommend that a scheme of hard, soft landscaping works and boundary treatment for this phase should be submitted prior to approval of the reserved matters.”

**Officer comment:** *The soft and hard landscaping conditions (34 and 35, respectively) imposed to DC/20/03891 (the outline permission this reserved matters application is being brought forward under) requires details to be submitted prior to works above slab level. Thus, there is no justified reason to delay the approval of this reserved matters application owing to the existing timeframes in place. Whilst this Reserved Matters application includes landscaping, Officers are satisfied that the strategic landscaping framework is understood and that site specifics can be approved by condition.*

#### **Environmental Health - Land Contamination**

“Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to land contamination.”

#### **Arboricultural Officer**

No response received to date.

#### **MSDC - Waste Manager (Major Developments)**

“Waste services do not have no objection to this application.”

#### **Economic Development & Tourism**

No response received to date.

#### **Environmental Health – Sustainability**

“Many thanks for your request to comment on the Sustainability/Climate Change mitigation related aspects of this application.

Condition 14 relates to the sustainability of the original development and there is no details in the documents published to be able to comment apart from the lack of Electric vehicle charging provision. There is nothing shown on the site layout plan.

The sale of new fossil fuelled cars and vans will be prohibited in the UK from 2030. The number of electric vehicles on the roads in the UK is expanding exponentially and it has been recognised in the Suffolk County Council Climate Action Plan that the number of charging points will need to increase as well.

I would recommend that the applicant reviews the provision of electric vehicle charging points within the car park.”

**Officer comment:** *The updated site layout plan illustrates the electric vehicle charging points. Curzon DeVere have an excellent record of pushing the green energy boundary on this site in line with their ambition to be the greenest business centre in the UK. Curzon DeVere is building an energy supply*

*relationship with the adjacent Energy from Waste and is looking to supply individual units with energy from roof installed PV units.*

#### **Environmental Health – Air Quality**

“Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to Local Air Quality Management.”

#### **Environmental Health – Noise/Odour/Light/Smoke**

No response received to date.

#### **Communities (Major Development)**

No response received to date.

#### **Other Consultee Responses (Appendix 7)**

##### **Stowmarket Group - Patch 4**

No response received to date.

##### **Suffolk Police – Designing Out Crime Officers**

No response received to date.

##### **East Suffolk Internal Drainage Board**

“Thank you for your consultation on planning application DC/21/05820. Having screened the application, the site in question lies outside the Internal Drainage District of the East Suffolk Internal Drainage Board and as per our Planning and Byelaw Strategy the proposed application is classed as a minor development and does not meet our threshold for commenting. Therefore, the Board has no comments to make.”

##### **Anglian Water**

“This application is related to propose floor plans and elevations, therefore this application is outside of our jurisdiction to comment.”

#### **B: Representations**

At the time of writing this report no letters/emails/online comments have been received. A verbal update shall be provided as necessary.

(Note: All individual representations are counted and considered. Repeated and/or additional communication from a single individual will be counted as one representation.)

#### **RELEVANT PLANNING HISTORY**

**REF:** DC/21/04358

Application for approval of Reserved Matters following approval of Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout, and Scale in relation to the Construction of Phase 8 Units 1 and 2 Class B8 Warehouse buildings including ancillary office space, production areas (Class E(g)) and car parking deck.

**DECISION:**

to be determined

<b>REF:</b> DC/21/02697	Full Planning Application - Extension of estate road and construction of part of carpark and service yard, with related landscaping to service unit 3.	<b>DECISION:</b> GRANTED 24.06.2021
<b>REF:</b> DC/21/02067	Submission of details (Reserved Matters) following Permission DC/20/03891 dated 17/02/2021 - Appearance, Landscaping, Layout and Scale for Construction of Phase 3 / Unit 3 Class B8 Warehouse building including ancillary office space, with car parking and loading / unloading areas, boundary landscaping and continuation of estate road.	<b>DECISION:</b> GRANTED 10.06.2021
<b>REF:</b> DC/20/01175	Application for Outline Planning Permission. (Access to be considered) Extension to Port One Business and Logistics Park (as permitted under ref. 2351/16 and varied by ref. 1755/17), together with associated works including drainage lagoons, ecology mitigation and landscaping	<b>DECISION:</b> GRANTED 15.04.2021
<b>REF:</b> DC/20/03891	Application under Section 73 of the Town and Country Planning Act relating to Planning Permission 2351/16 previously varied by 1755/17 for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements)	<b>DECISION:</b> GRANTED 17.02.2021
<b>REF:</b> DC/19/01793	Submission of details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 2 extending estate road approved under DC/18/01897 to eastern & central parts, provision of main services & balancing lagoon & Phase 4 for central warehouse unit plot.	<b>DECISION:</b> GRANTED 23.10.2019
<b>REF:</b> DC/19/01827	Submission of Details under Outline Planning Permission 2351/16 (Varied by Section 73 permission 1755/17) for Appearance, Landscaping, Layout and Scale of Phase 1 Access Works	<b>DECISION:</b> GRANTED 10.07.2019
<b>REF:</b> 1755/17	Application for variation of condition 20 following grant of planning permission 2351/16: "Application for outline planning permission (including access, all other matters reserved) for development of	<b>DECISION:</b> GRANTED 29.10.2018

business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping" to enable revised details for proposed accesses

**REF:** 2351/16

Application for outline planning permission (including access, all other matters reserved) for development of business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping.

**DECISION:**  
GRANTED  
17.11.2016

This planning history does not cite associated discharge of condition applications/decisions, minor applications related to redevelopment as a business park or history prior to the relevant business park consent.

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## **PART TWO – ASSESSMENT OF APPLICATION**

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### **1.0 The Site and Surroundings**

- 1.1 The application site is located on the western side of the B1113 (Bramford Road), to the north of the junction that links a single carriageway section with dual carriageway section that extends towards the A14 trunk road.
- 1.2 There are a number of industrial units to the north and east of the site, approximately 20 buildings in total.
- 1.3 Outline planning permission and subsequent reserved matters were approved for a development of a business and logistics park to provide commercial floorspace principally within Use Classes B1 and B8, to include access onto the B1113 Bramford Road and a secondary means of access via Addison Way, together with the provision of estate roads and ancillary parking, servicing and landscaping in November 2016 under reference 2351/16.
- 1.4 The existing 2016 permission (2351/16) was varied to ensure that the conditions reflected the phased nature of the scheme. Phases 1, 2 and 4 have been brought forward under outline planning permission 1755/17.
  - Phase 1 – Access
  - Phase 2 – Estate Roads and the drainage lagoon; and

- Phase 4 – Plot 4 (refs DC/19/01827 (DoC) and DC/19/01793) and site-wide pre-commencement conditions, together with those parts of the phased pre-commencement conditions which relate to Phases 1, 2 & 4, have been fully discharged. Accordingly, work commenced on-site at the end of 2019.

1.5 This outline permission (1755/17) has subsequently been varied to allow for the variation of Conditions 20 (Proposed access road details) and 26 (Off road cycle route improvements). Phases 3, 6 and 8 have been brought forward under outline planning permission DC/20/03891.

- Phase 3 – Plot 3 (refs DC/21/02724 (DoC) and DC/21/02067). Applications have been made to discharge all other pre-commencement and pre-slab level conditions.
- Phase 6 – Plot 6 (subject of this application).
- Phase 8 – Plots 1 and 2 (ref DC/21/04358) decision outstanding.

1.6 In April 2021 consent was given for an extension to the park. The remaining phases of the development are to be brought forward under this outline planning permission (ref DC/20/01175).

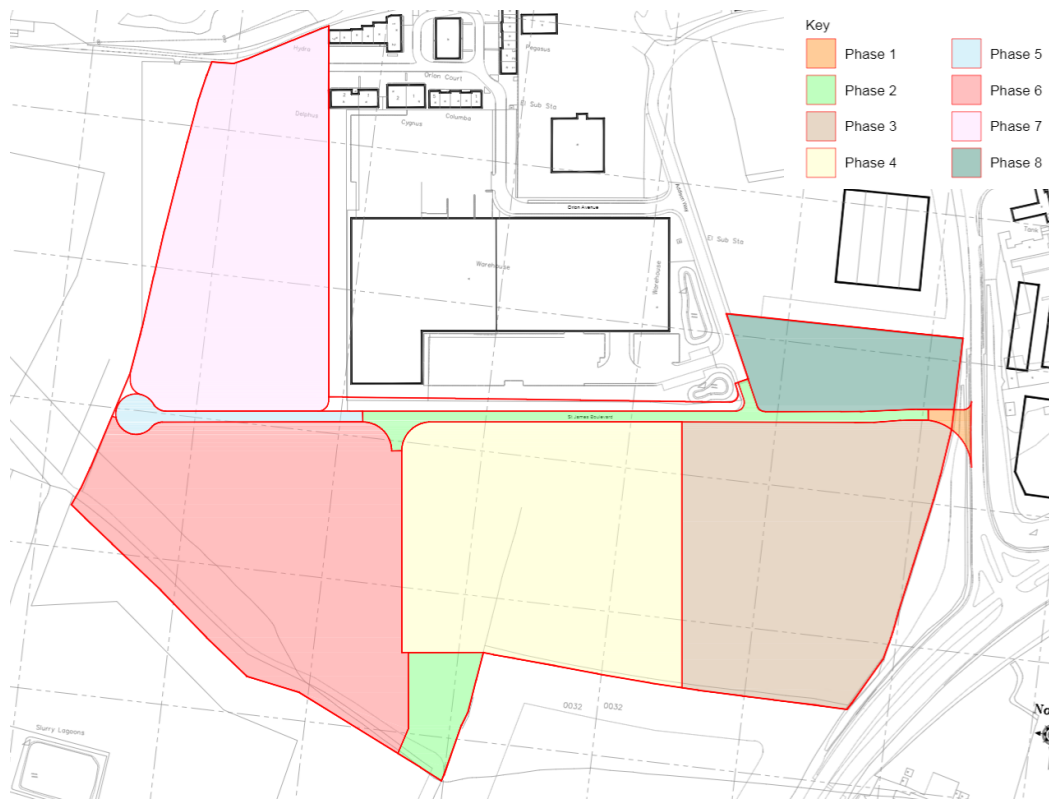


Figure 1: Phasing plan agreed under outline DOC ref. 2351/16

1.7 The current application before Members represents Phase 6 of the original outline permission which was granted under 2351/16, 1755/17 and subsequently DC/20/03891.

## **2.0 The Proposal**

2.1 The proposal seeks approval of reserved matters which includes the appearance, landscaping, layout and scale for Phase 6 (Unit 6) following permission DC/20/03891 dated 17/02/2021 (Section 73) and the original outline permission 2351/16).

- 2.2 Phase 6 would see the erection of a warehouse building (Use Class B8) including ancillary office space, with car parking, loading/unloading area, boundary landscaping and continuation of estate road.
- 2.3 Unit 6 is located within the site covered by outline planning permission DC/20/03891. It is to be sited to the west of Unit 4 and its associated car park.

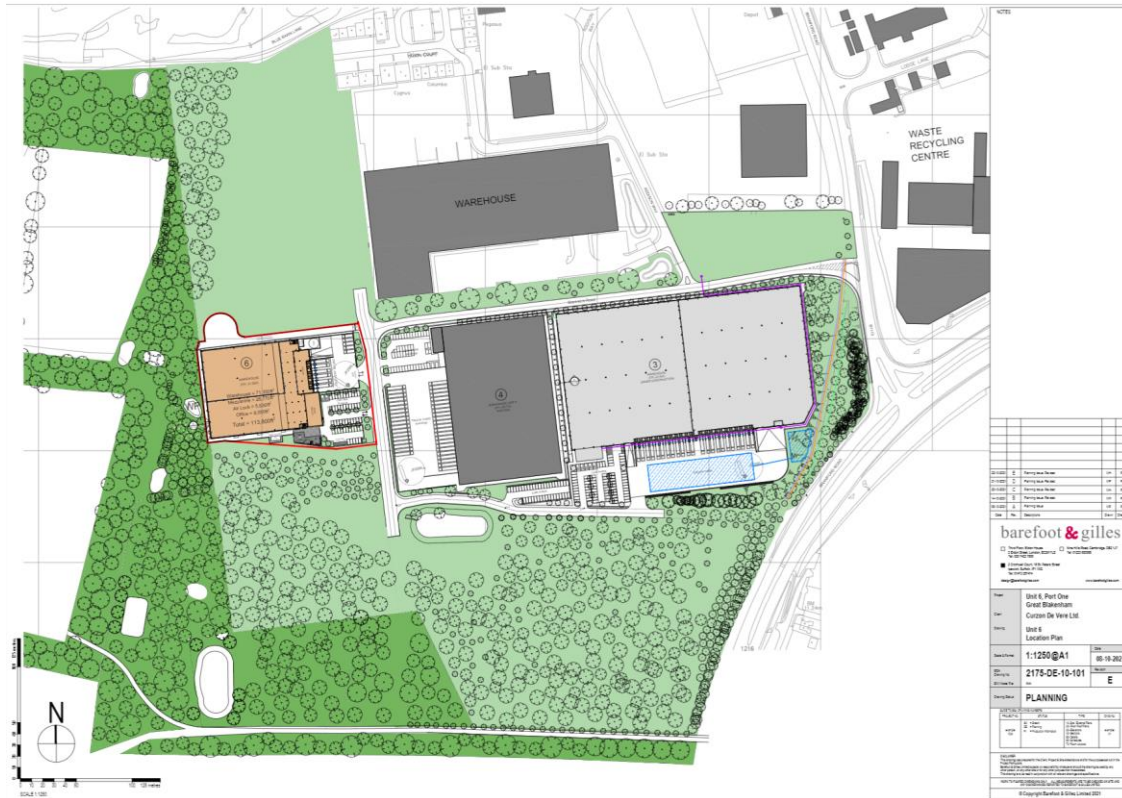


Figure 2: Plan showing the position of Unit 6 in relation to Units 3 and 4 and the wider site

- 2.4 Unit 6 would provide 10,572 square metres of logistic warehouse with a ridge height of 19m above the finished floor level. The topography of the land is such that it rises from the rear and therefore part of the land is to be cut out to set the finished floor level at 31.500. The average treetop to the western boundary is 53.000 and the ridge of Unit 6 is to be 50.000 such that the unit will be screened from wider views from the west.

### **3.0 The Principle of Development**

- 3.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states:  
 “If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.”
- 3.2 It is therefore the starting point for the Council when determining planning applications and so we must first consider the application in the light of relevant Development Plan policies.

- 3.3 The principle of development for a logistics park on this site has already been established by the planning permission granted under application reference 2351/16, the subsequent Section 73 which varied the original scheme under reference 1755/17, the reserved matters applications (DC/19/01827 and DC/01793) and the most recent Section 73 (under reference DC/20/03891) which varied Conditions 20 and 26 of the original scheme under reference 1755/17.
- 3.4 In addition, the site lies within the emerging Joint Local Plan as a site allocated for employment, as such the principle is considered acceptable in this regard and conforms with Policy SP05.

**Policy SP05 – Employment Land**

In order to support and encourage sustainable economic growth and ensure a continuous range and diversity of sites and premises which are fit for purpose are available across the Districts of Babergh and Mid Suffolk through the plan period the following existing strategic employment sites shall be protected and their proposed expansion supported in principle:

- i. **Stowmarket** - Charles Industrial Estate, Gipping Valley, Gipping Way Industrial estate, Mill Lane/Gateway14, Tomo Industrial estate
- ii. **Sudbury** – Churchfield Road, Northern Road, Chilton Industrial Estate, Wood Hall Business Park, Delphi Site
- iii. **Villages around Ipswich**
  - a) Claydon & Great Blakenham – Claydon Business Park, Addison Way, Bramford Rd/Lodge Lane Industrial Estate, Gipping Road Industrial Estate
  - b) Wherstead – Wherstead Business Park
  - c) Sproughton – Former Sugar Beet site, Farthing Road Industrial Estate, London Road A1214
- iv. **Acton** – Bull Lane
- v. **Eye** – Eye Airfield
- vi. **Hadleigh** – Lady Lane
- vii. **Needham Market** – Lion Barn
- viii. **Woolpit** – Lady’s Well, Lawn Farm, Brickworks, Woolpit Business Park

Employment-led regeneration is supported at Brantham and at the Former Sproughton Sugar Beet regeneration sites.

Along the strategic transport corridors (A12, A14 and A140) development of net additional employment sites shall be supported in principle, subject to:

- a. **adequate highway access and off-road parking for its type, mix, use and location; and**

#### **4.0 Nearby Services and Connections Assessment of Proposal**

- 4.1 The application site is situated outside any settlement boundary however it is well connected due to its proximity to the A14 which provides a dual carriage link direct to Felixstowe which is the largest container port in the United Kingdom (handling over 42% of all the country's containerised trade). It is the sixth busiest port in Europe and the A14 links it directly to the M1, M6, M42 'golden triangle', where many of the main logistic companies in the country are based. Policy SP05 in the Emerging Joint Local Plan supports and encourages sustainable economic growth as well as the protection and proposed expansion in principle of a number of existing sites such as this within Great Blakenham.
- 4.2 There are existing employment uses to the north and east of the site and this area is considered to be an established employment location, with good access to a large, skilled, workforce living in

Stowmarket, Needham Market and the Ipswich Policy Area. There is also the Sproughton Enterprise Park nearby together with SnOasis although this has not yet been developed.

## **5.0 Site Access, Parking and Highway Safety Considerations**

- 5.1 The site access would be off Bramford Road/Addison Way and has been previously approved under the outline planning permission 2351/16 (subsequently varied by Section 73 permission 1755/17).
- 5.2 Furthermore, all issues in relation to the safety of the proposed access were considered at the time the discharge of condition application was assessed by the Council (ref. DC/18/01897).
- 5.3 A total of 61no. car parking spaces are to be provided. 13no. of these spaces are to be fitted with an EV charging system and 11no. additional spaces are to have the infrastructure in place for future connectivity. A minimum of 53no. cycle spaces are to be provided on site.
- 5.4 A pedestrian crossing is proposed on the estate road to the west of the unit. It ensures pedestrian connectivity across the park and into Unit 6. The provision of this crossing is secured by way of condition.
- 5.5 SCC Highways have been consulted and have no objection to the proposal subject to a condition in relation to parking areas. It is not considered necessary to impose this condition given that it is a repeat of pre-commencement condition 28 on the outline planning permission ref DC/20/03891.
- 5.6 Members are reminded that all the proposed works relating to the existing and new junctions on the wider site have already been agreed and that the junction delivery is secured by way of existing conditions and S106 Agreement on the existing schemes that have previously been before Members. The access has already been agreed and is to be off the new junction from the B1113 Bramford Road, Addison Way (in-only) and the new estate road, for which detailed planning permission has already been granted (outline permission 1755/17 and reserved matters approvals DC/19/01827 and DC/19/01793).
- 5.7 The approved access from Bramford Road consists of a new priority junction arrangement which only permits left turn in and right turn out movements. The site provides a secondary access from Addison Way allowing cars, vans and emergency vehicles to enter and exit the site in both directions on Bramford Road. HGV access is to be restricted between the early phase of the development and the new access via Addison Way.
- 5.8 The junction geometry has been designed to physically prevent HGV movements in certain directions to ensure all HGVs enter and exit the site from the A14 direction and the main site access.
- 5.9 As per the recent approval DC/20/03891 the proposed works relating to the existing and new junctions on the wider site have a trigger to bring forwards the previously approved access either within 12 months of occupation of the first unit, or, if earlier, before the occupation of the third unit. The junction works have commenced under a minor works license. A draft S278 agreement is with the Highways Authority and it is envisaged that the works will be completed by summer 2022.

## **6.0 Design and Layout [Impact On Street Scene]**

- 6.1 Unit 6 would have a floor area of 10,572 square metres and would be situated towards the western boundary of the Port One logistics site. The Unit will be set back from the new internal estate road (known as Blackacre Road), with the delivery docks and car park to the frontage (east).



- 6.2 The proposed siting, layout and design of Unit 6 closely follows that of the existing built out warehouses and other approved Phases within the wider site.
- 6.3 The proposed ridge height for Unit 6 would be 19m above the finished floor level. Due to the existing topography of the site, the Unit will sit 2.7m higher than Unit 4 to the east. However, when viewed against the existing backdrop and landscape buffer to the west, this is not considered to result in a significant landscape or visual impact.
- 6.4 The design, materials and appearance of the building 'mirror' that of Units 3 and 4 and are consistent with the key design approach agreed with the Council, which is to develop a family of warehouse buildings on the Park that are clad in materials that are lighter at the bottom and are darker at the top. This was previously agreed and considered appropriate as it was considered that the buildings would not be seen against the sky but against the tree belts that border the site on higher ground to the west and north.

## **7.0 Commentary on Outline Conditions**

- 7.1 Members are reminded that this application before them is for the Reserved Matters of Phase 6/Unit 6 and a number of other aspects of the development have previously been agreed and secured by condition relating to either DC/20/03891 or DC/20/01175 and are required to be discharged accordingly.
- 7.2 In addition a S106 and Deed of Variation also secure a number of obligations for the wider site under either DC/20/03891 or DC/20/01175.

## **8.0 Landscape Impact, Trees, Ecology, Biodiversity and Protected Species**

- 8.1 The proposal would include a small buffer of landscaped area which would include new tree planting along the eastern edge and around the car park to the site frontage.
- 8.2 Within the wider site and surrounding area there is to be additional tree planting and landscaping to ensure that the whole site is suitably screened and the overall development, as a whole, is softened.
- 8.3 Place Services Landscaping have been consulted and raise no objection to the proposal subject to conditions in relation to landscaping details secured through the outline consent. The soft and hard landscaping conditions (34 and 35, respectively) imposed to DC/20/03891 requires details to be submitted prior to works above slab level. Thus, there is no justified reason to delay the approval of this reserved matters application owing to the existing timeframes in place.
- 8.4 Place Services Ecology have no objection subject to securing biodiversity mitigation, compensation and enhancements, conditions of which are secured through the outline consent.

## **9.0 Land Contamination, Flood Risk, Drainage and Waste**

- 9.1 Environmental Health confirm that there is no objection to the proposal in this regard.
- 9.2 SCC Flood & Water Management advise that the application should not be approved until an acceptable surface water drainage strategy is approved due to potential impact on the layout and levels of the site. Whilst these concerns are noted, this Phase is being brought about in conjunction with the development of the wider site (DC/20/03891) and also the further extended site to the south (DC/20/01175).

- 9.3 Drainage issues are not material to this reserved matters application, which solely concerns the siting, layout, appearance and landscaping of Phase 6/Unit 6. The drainage for the whole site is subject to a separate condition (Condition 6) on outline reference DC/20/03891. This condition is outstanding and requires discharge prior to commencement.
- 9.4 Phase 6/Unit 6 is being brought forward under outline planning permission DC/20/03891. Within the site covered by this existing consent, there is ample space to accommodate the required drainage system(s) for all phases of the development and as mentioned above this is being dealt with under the appropriate condition for the approved permission DC/20/03891.
- 9.5 It is suggested that should Members be minded to approve this reserved matters application then a condition should be included as part of the decision to ensure that the drainage currently dealt with under Condition 6 of DC/20/03891 needs to be agreed prior to the commencement of works of Phase 6.

## **10.0 Heritage Issues**

- 10.1 The proposed development site does not lie within a Special Landscape Area or a Conservation Area and there are no listed buildings nearby. The proposed development would therefore not have any detrimental impact in this regard and is considered acceptable.

## **11.0 Impact on Residential Amenity**

- 11.1 The proposed site is situated within an existing industrial/commercial area. The proposed development is not considered to cause a significant detrimental impact on residential amenity.
- 11.2 The nearest residential properties are some 400m to the east and west of Unit 6, respectively.
- 11.3 Due to the siting of Unit 6 within the wider site, the sitewide design approach and the existing landscaping buffer to the western boundary, the proposed development is not considered to have a detrimental visual impact.
- 11.4 The proposal would not have a significant adverse impact on residential amenity of any nearby neighbours. The proposal would not affect the privacy of the nearby properties nor their visual amenity. The proposal is acceptable in this regard.

## **12.0 Planning Obligations / CIL**

- 12.1 Whilst the Reserved Matters for Unit 6 does not bring about any new planning obligations, the wider site area benefits from an existing agreed S106 and appropriate Deed of Variation which secures a number of benefits such as the shuttle mini-bus, emergency out of hours taxi facility for vulnerable employees, junction improvements and pedestrian/cycle improvements.
- 12.2 All the other infrastructure impacts of the proposal would be subject to funding via CIL, if and where applicable.
- 12.3 This Reserved Matters application does not generate the requirement for a new S106 Agreement or a further Deed of Variation because the obligations which have been secured under outline planning permission (DC/20/01175 and 2351/16) and the subsequent Section 73 (DC/20/03891) permission are not altered by the approval of this Reserved Matters application.

## **PART THREE – CONCLUSION**

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### **13.0 Planning Balance and Conclusion**

- 13.1 At the heart of the balancing exercise to be undertaken by decision makers is Section 38(6) of the Planning and Compulsory Purchase Act 2004; which requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, determination must be made in accordance with the plan unless material considerations indicate otherwise. That said Members will now be familiar with the fact that here in Mid Suffolk regard needs to be given to the NPPF because in taking decisions the 'tilted balance' [paragraph 11[d] NPPF] comes into play because certain of the Council's Development Plan policies relevant to the matter under consideration here have been held to be 'out-of-date'.
- 13.2 The principle of development has already been established by the existing extant outline and Section 73 consents and therefore this application is made for the reserved matters of Phase 6/Unit 6.
- 13.3 The proposal is considered to conform to both Local and National policy and would generate approximately 70 full-time jobs. The Council is of the understanding that there is a pre-let in place for Unit 6 and it has been designed to meet the tenants' requirements. The Council seeks to support appropriately located sustainable employment opportunities creating development in suitable locations, particularly within close proximity to the A14 trunk road.
- 13.4 Port One is a highly successful business centre that is helping to create new jobs and responding to the demand for new business premises within the District close to the A14. With the announcement that Felixstowe/Harwich are to be major 'Freeports' the Port One site is ideally located to service that sub-regionally/regionally/nationally important commercial hub. A state-of-the-art business centre designed to accommodate largescale logistics operations will bring a real boost to the local economy, boost jobs [direct and indirect] and boost business rate receipts which can be re-invested in services to serve the community.
- 13.5 The proposal is not considered to cause any harm to designated heritage assets, residential amenity, ecology or the landscape and character of the surrounding area.
- 13.6 The design complements the established character of the Port One development and can be seen as a cohesive part of the overall modern functional approach to providing warehouse style units.
- 13.7 The wider site is going to be well landscaped and this will soften the overall impact of the built form from public views but Port One is what it is – a major warehouse style complex close to the A14 in line with the Council's emerging policy SP05 to direct growth towards the A14 corridor.
- 13.8 On this basis, the proposal is considered to satisfactorily achieve a well-designed sympathetic unit with the design in line to the previously approved and built out units on the site and those within the wider area.
- 13.9 It is therefore considered appropriate in planning terms.

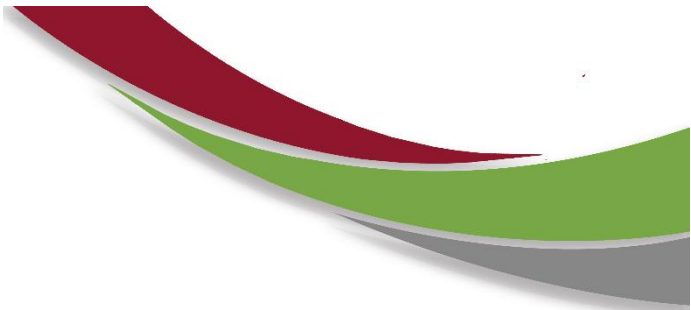
## **RECOMMENDATION**

**(1) That the Chief Planning Officer to Grant Planning Permission subject to conditions as summarised below and those as may be deemed necessary by the Chief Planning Officer:**

- Standard time limit (3yrs for implementation of scheme)
- Approved Plans (Plans submitted that form this application)
- Level access to enable wheelchair access for all buildings
- SW Drainage agreed prior to commencement of Unit 6

**(2) And the following informative notes as summarised and those as may be deemed necessary:**

- Pro-active working statement
- Support for sustainable development principles



# Application No: DC/21/05820

Location: Land At Blackacre Hill, Bramford Road,  
Great Blakenham, Suffolk

Page No.

<b>Appendix 1: Call In Request</b>	<i>N/A</i>	
<b>Appendix 2: Details of Previous Decision</b>	<i>N/A</i>	
<b>Appendix 3: Town/Parish Council/s</b>	<i>None received.</i>	
<b>Appendix 4: National Consultee Responses</b>	<i>Highways England</i> <i>Historic England</i> <i>Natural England</i> <i>Ministry Of Defence (Statutory)</i>	
<b>Appendix 5: County Council Responses</b>	<i>SCC Flood and Water Management</i> <i>SCC Highways</i> <i>SCC Fire and Rescue</i> <i>SCC Travel Plan</i>	
<b>Appendix 6: Internal Consultee Responses</b>	<i>Heritage Team</i> <i>Place Services Ecology</i> <i>Place Services Landscape</i> <i>Environmental Health - Land Contamination</i> <i>MSDC - Waste Manager (Major Developments)</i>	



Babergh and Mid Suffolk District Councils



	<i>Environmental Health – Sustainability</i> <i>Environmental Health – Air Quality</i> <i>Environmental Health – Noise/Odour/Light/Smoke</i>	
<b>Appendix 7: Any other consultee responses</b>	<i>East Suffolk Internal Drainage Board</i> <i>Anglian Water</i> <i>No letters/emails/online comments received.</i>	
<b>Appendix 8: Application Site Location Plan</b>	Yes	
<b>Appendix 9: Application Plans and Docs</b>	Yes	
<b>Appendix 10: Further information</b>	N/A	

The attached appendices have been checked by the case officer as correct and agreed to be presented to the committee.



**From:** Planning EE  
**Sent:** 27 October 2021 14:57  
**To:** BMSDC Planning Area Team Pink  
**Cc:** Spatial Planning; Norman, Mark  
**Subject:** DC/21/05820 Consultation Response

Dear Sir/Madam

Thank you for your consultation on the above planning application, dated 26 October 2021.

National Highways is a strategic highway company under the provisions of the Infrastructure Act 2015 and is the highway authority, traffic authority and street authority for the Strategic Road Network (SRN). In respect to this planning application, the nearest SRN Trunk Road is the A14.

We have reviewed the details and information provided. The location of the development site is remote from the A14 Trunk Road, and is not linked to any larger development. Therefore, there is unlikely to be any adverse effect upon the Strategic Road Network.

Consequently, we offer **No Comment**.

Kind Regards

**Jarod Harrison, Senior Administrator**  
**Spatial Planning | Operations (east) National Highways**  
National Highways | Woodlands | Manton Lane | Bedford | MK41 7LW



Mr Vincent Pearce  
Babergh Mid Suffolk  
Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

Direct Dial: 01223 582764

Our ref: **W:** P01444274

27 October 2021

Dear Mr Pearce

**T&CP (Development Management Procedure) (England) Order 2015  
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**LAND AT BLACKACRE HILL, BRAMFORD ROAD, GREAT BLAKENHAM,  
SUFFOLK  
Application No. DC/21/05820**

Thank you for your letter of 26 October 2021 regarding the above application for planning permission. On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant.

It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request.

Yours sincerely

**Tom Goodman**  
Business Officer  
E-mail: [thomas.goodman@historicengland.org.uk](mailto:thomas.goodman@historicengland.org.uk)



24 BROOKLANDS AVENUE, CAMBRIDGE, CB2 8BU

Telephone 01223 582749  
[HistoricEngland.org.uk](http://HistoricEngland.org.uk)





**From:** SM-NE-Consultations (NE)  
**Sent:** 15 November 2021 11:20  
**To:** BMSDC Planning Area Team Pink  
**Subject:** Planning Consultation DC/21/05820 Natural England Response

Dear Sir or Madam,

Our ref: 373296  
Your ref: DC/21/05820

Thank you for your consultation.

Natural England has previously commented on this proposal and made comments to the authority in our letter ref – 187778, dated 22 July 2016.

The advice provided in our previous response applies equally to this **proposal**

The proposed amendments to the original application are unlikely to have significantly different impacts on the natural environment than the original proposal.

Should the proposal be amended in a way which **significantly** affects its impact on the natural environment then, in accordance with Section 4 of the Natural Environment and Rural Communities Act 2006, Natural England should be consulted again. Before sending us the amended consultation, please assess whether the changes proposed will materially affect any of the advice we have previously offered. If they are unlikely to do so, please do not re-consult us.

Yours faithfully

Corben Hastings  
Support Adviser, Operations Delivery  
Consultations Team  
Natural England



Ministry  
of Defence

Defence  
Infrastructure  
Organisation

Mr Vincent Pearce  
Mid Suffolk District Council  
Planning Services  
131 High Street  
Suffolk  
IP6 8DL

**Jill Roberts**  
Ministry of Defence  
Safeguarding Department  
St George's House  
DIO Headquarters  
DMS Whittington  
Lichfield  
Staffordshire  
WS14 9PY

**Tel:** 0792905 6607

**E-mail:** Jillian.roberts156@mod.gov.uk

23 November 2021

Your reference: DC/21/05820  
Our reference: DIO10053284

Dear Vincent

**MOD Safeguarding**

**Proposal:** Following outline DC/20/03891: Reserve Matters: Appearance, Landscaping, Layout and Scale of the construction of Phase 6/ Unit 6 Class B8 Warehouse building including ancillary office space with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

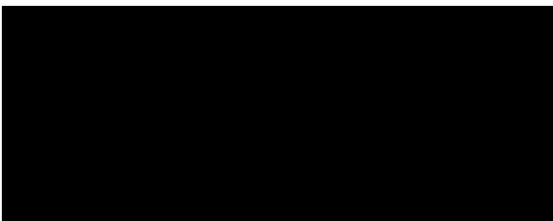
**Location:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Grid Ref:** 611684,249454

Thank you for consulting the Ministry of Defence (MOD) on the above proposed development which was received by this office on 26 October 2021. I can confirm the MOD has no safeguarding objections to this proposal.

I trust this is clear however should you have any questions please do not hesitate to contact me.

Yours sincerely



Jill Roberts  
DIO safeguarding

**From:** GHI Floods Planning  
**Sent:** 09 November 2021 08:59  
**To:** BMSDC Planning Area Team Pink; Vincent Pearce  
**Subject:** RE: MSDC Planning Consultation Request - DC/21/05820



**MSDC Planning**  
**Re-consultation ...**

Dear Vincent,

Thank you for consulting us regarding the " Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 7/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road.

**Comments on Surface Water (SW) Drainage and local flooding from Suffolk County Council Flood and Water Management Team**

I have reviewed the following documents and would advise you not to approve this application until an acceptable SW drainage strategy is approved.

This is because:

it is important that levels and layout matters/conditions are not cleared before SW drainage matters, since as illustrated in the attached comments on DC/20/01175, the layout and levels will need to be informed by the drainage FRA/Strategy.

Regards

**Denis Cooper**  
Flood and Water Engineer  
**Flood and Water Management**  
Growth, Highways and Infrastructure  
Suffolk County Council

Your Ref:DC/21/05820  
Our Ref: SCC/CON/5639/21  
Date: 16 December 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Vincent Pearce - MSDC

Dear Vincent

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/05820**

**PROPOSAL:** Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

**LOCATION:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Following the submission of a further amended plan showing additional parking provision and pedestrian access, we are satisfied with the proposal.

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

Condition: The use shall not commence until the area(s) within the site shown on drawing no. 2175-DE-10-111 Rev H for the purposes of loading, unloading, manoeuvring and parking of vehicles, secure cycle storage and EV charging infrastructure have been provided and thereafter the area(s) shall be retained, maintained and used for no other purposes.

Reason: To ensure that sufficient areas for vehicles to be parked are provided in accordance with Suffolk Guidance for Parking 2019 where on-street parking and or loading, unloading and manoeuvring would be detrimental to the safe use of the highway and to encourage sustainable travel.

Yours sincerely,

**Ben Chester**  
**Senior Transport Planning Engineer**  
Growth, Highways and Infrastructure

Your Ref:DC/21/05820  
Our Ref: SCC/CON/5539/21  
Date: 9 December 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Vincent Pearce - MSDC

Dear Vincent

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/05820**

**PROPOSAL:** Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

**LOCATION:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Further to the submission of an amended plan showing additional parking provision, we are satisfied with the proposal.

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

Condition: The use shall not commence until the area(s) within the site shown on drawing no. 2175-DE-10-111 Rev H for the purposes of loading, unloading, manoeuvring and parking of vehicles, secure cycle storage and EV charging infrastructure have been provided and thereafter the area(s) shall be retained, maintained and used for no other purposes.

Reason: To ensure that sufficient areas for vehicles to be parked are provided in accordance with Suffolk Guidance for Parking 2019 where on-street parking and or loading, unloading and manoeuvring would be detrimental to the safe use of the highway and to encourage sustainable travel.

Yours sincerely,

**Ben Chester**  
**Senior Transport Planning Engineer**  
Growth, Highways and Infrastructure

Your Ref: DC/21/05820  
Our Ref: SCC/CON/4925/21  
Date: 16 November 2021  
Highways Enquiries to: Highways.DevelopmentControl@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email: [planning@babberghmidsuffolk.gov.uk](mailto:planning@babberghmidsuffolk.gov.uk)

The Planning Department  
MidSuffolk District Council  
Planning Section  
1st Floor, Endeavour House  
8 Russell Road  
Ipswich  
Suffolk  
IP1 2BX

For the attention of: Vincent Pearce - MSDC

Dear Vincent

**TOWN AND COUNTRY PLANNING ACT 1990 CONSULTATION RETURN: DC/21/05820**

**PROPOSAL:** Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

**LOCATION:** Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Notice is hereby given that the County Council as Highway Authority make the following comments:

The proposed parking provision of 50 spaces does not provide an acceptable level of vehicle parking in accordance with Suffolk Guidance for Parking (2019). It has been assessed using a combination of B8 and B1 (class E(g)) use classes due to the combination of warehouse and office space resulting in a requirement of 87 spaces.

In order to accept such a significant reduction from our guidance, robust justification is required.

It is also noted that the proposal does not benefit from a segregated pedestrian or cycle access.

**Objection with regard to parking provision until further information and/or amendments are submitted.**

Yours sincerely,

**Ben Chester**  
**Senior Transport Planning Engineer**  
Growth, Highways and Infrastructure

**From:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Sent:** 18 Nov 2021 01:20:41

**To:**

**Cc:**

**Subject:** FW: Consultation Request - DC/21/05820 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Attachments:**

---

**From:** Water Hydrants <Water.Hydrants@suffolk.gov.uk>

**Sent:** 15 November 2021 15:28

**To:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Cc:** Angela Kempen <Angela.Kempen@suffolk.gov.uk>

**Subject:** FW: Consultation Request - DC/21/05820 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Fire Ref.: F216191

Good Afternoon,

Thank you for your letter regarding the consultation for this site.

The Suffolk Fire & Rescue Service do not need to comment on this planning application. However, we do expect there to be a Condition for the installation of Fire Hydrants on this site, that should follow this build to its conclusion, as requested in our published letter for the original planning application 2351/16.

If you have any queries, please let us know, quoting the above Fire Ref. number.

Kind regards,

A Stordy

Admin to Water Officer

Fire and Public Safety Directorate, SCC

3rd Floor, Lime Block, Endeavour House

Russell Road, IP1 2BX

Tel.: 01473 260564

Team Mailbox: [water.hydrants@suffolk.gov.uk](mailto:water.hydrants@suffolk.gov.uk)

**Our Mission Statement:** We will make a positive difference for Suffolk. We are committed to working together, striving to improve and securing the best possible services.

*we*

**Our Values:** Wellbeing, Equality, Achieve, Support, Pride, Innovate, Respect, Empower

**From:** Chris Ward  
**Sent:** 01 November 2021 12:57  
**To:** Vincent Pearce  
**Cc:** BMSDC Planning Area Team Pink  
**Subject:** RE: MSDC Planning Consultation Request - DC/21/05820

Dear Vincent,

Thank you for consulting me about the reserved matters application at Land at Blackacre Hill in Great Blakenham. On reviewing the documents I have no comment to make.

Kind regards

**Chris Ward**  
Active Travel Officer  
Transport Strategy  
Strategic Development - Growth, Highways and Infrastructure  
Suffolk County Council



# Consultee Comments for Planning Application DC/21/05820

## Application Summary

Application Number: DC/21/05820

Address: Land At Blackacre Hill Bramford Road Great Blakenham Suffolk

Proposal: Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road  
Case Officer: Vincent Pearce

## Consultee Details

Name: Miss Katherine Pannifer

Address: Endeavour House, 8 Russell Road, Ipswich, Ipswich IP1 2BX

Email: Not Available

On Behalf Of: Heritage Team

## Comments

DC/21/05820 Land at Blackacre Hill, Bramford Road, Great Blakenham

The Heritage Team have no comments to provide on the above application.

Katherine Pannifer

Heritage and Design Officer

Babergh and Mid Suffolk District Councils - Working Together



25 November 2021

Vincent Pearce  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich IP1 2BX

By email only

---

*Thank you for requesting advice on this re-application from Place Services' ecological advice service. This service provides advice to planning officers to inform Mid Suffolk District Council planning decisions with regard to potential ecological impacts from development. Any additional information, queries or comments on this advice that the applicant or other interested parties may have, must be directed to the Planning Officer who will seek further advice from us where appropriate and necessary.*

---

**Application:** DC/21/05820  
**Location:** Land At Blackacre Hill Bramford Road Great Blakenham Suffolk  
**Proposal:** Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

Dear Vincent,

Thank you for consulting Place Services on the above Reserved Matters application.

**Summary**

We have reviewed the submitted documents for this application. In addition, we have re-assessed the Protected Species Survey Report (Abrehart Ecology Ltd May 2016), submitted by the applicant at outline stage, relating to the likely impacts of the development upon designated sites, protected and Priority species & habitats.

As a result, it is indicated that we are still satisfied that appropriate mechanisms have been secured to mitigate impacts for protected and Priority species for this application.

However, we note that no detailed soft landscaping measures have been outlined for this application, as required under condition 34 of the outline consent. As a result, further information on the planting specifications and schedules should be submitted prior to approval of the reserved matters, in line with the requirements of the soft landscaping condition. This should preferably include correspondence with a suitably qualified ecologist, to ensure biodiversity net gains are delivered into the design of the proposals, in line with paragraph 174d of the NPPF.



Furthermore, A wildlife friendly lighting scheme must also be provided prior to occupation for this application (as required under condition 8 of the outline consent). This should follow ILP Guidance<sup>1</sup> and should demonstrate that the following measures will be implemented, via the provision of technical specifications of any external lighting:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Environmentally Sensitive Zones should be established within the development, where lighting could potentially impact important foraging and commuting routes for bats.
- Lux levels and horizontal lighting should be directed away from boundary edges and Environmentally Sensitive Zones and kept as low as possible. This should preferably demonstrate that the boundary features and Environmentally Sensitive Zones are not exposed to lighting levels of approximately 1 lux. This is necessary to ensure that light sensitive bat species, will not be affected by the development.
- Warm White lights should be used preferably at <3000k within Environmentally Sensitive Zones. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- Light columns should be as short as possible as light at a low level reduces the ecological impact.
- The use of cowls, hoods, reflector skirts or shields could be used to prevent horizontal spill in Environmentally Sensitive Zones

Please contact us with any queries.

Yours sincerely,

**Hamish Jackson ACIEEM BSc (Hons)**

Ecological Consultant

[placeservicesecology@essex.gov.uk](mailto:placeservicesecology@essex.gov.uk)

**Place Services provide ecological advice on behalf of Mid Suffolk District Council**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.

---

<sup>1</sup> ILP, 2018. Bat Conservation Trust Guidance Note 08/18: Bats and artificial lighting in the UK



Planning Services  
Mid Suffolk District Council  
Endeavour House  
8 Russell Road  
Ipswich  
IP1 2BX

16/11/2021

For the attention of: Vincent Pearce

**Ref: DC/21/05820; Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk**

Thank you for consulting us on the application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road.

The application for reserved matters is supported by a site layout plan, sections through the site and elevations of the building. Prior to determination, we would advise the following observations and recommendations are taken into consideration:

- Details of existing trees; removed or retained were missing from the plans.
- There are no details regarding the proposed boundary treatments or surface materials on the plans.
- There was no key to the site layout plan. Further details are required for the green areas. In order to provide visual interest and biodiversity on site we recommend that these areas should be planted rather than laid to grass.
- There are significant earthworks planned for the western edge of the site to allow the building to sit in the sloped landscape. Details of the proposed earth works and their impact on the existing landscape features off site should be considered and mitigation measure should be outlined along with details of any proposed retaining feature.
- The carpark has been located adjacent to the office area and would be afforded a level of passive surveillance though it may still benefit from fencing to provide a secure enclosure for staff parking.
- The provision of the outdoor seating area is welcomed, though with further development planned directly to the south of the site (DC/20/01175 – LSDP 11365-05 RevG) we would have concerns that the space may become shaded by future buildings.
- There are no indications on how surface water will be dealt with on site. We recommend that any proposed SuDS features be considered at an early stage to ensure they can be effectively and aesthetically incorporated into the landscape scheme.

It should also be noted that Condition 34 Soft Landscaping and 35 Hard Landscaping of the granted outline permission 2351/16 (amended 1755/17) are to be submitted concurrent with the reserved matters application and have only been partly discharged (unit 4 only) under application DC/19/05259. Therefore, we recommend that a scheme of hard, soft landscaping works and boundary treatment for this phase should be submitted prior to approval of the reserved matters.

If you have any queries regarding the matters raised above, please do not hesitate to contact me.

Yours sincerely

Kim Howell BA (Hons) DipLA CMLI  
Landscape Consultant

**Place Services provide landscape advice on behalf of Babergh and Mid Suffolk District Councils.**

Please note: This letter is advisory and should only be considered as the opinion formed by specialist staff in relation to this particular matter.



**From:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>

**Sent:** 12 Nov 2021 10:18:33

**To:**

**Cc:**

**Subject:** FW: (299852) DC/21/05820. Land Contamination

**Attachments:**

---

**From:** Nathan Pittam <Nathan.Pittam@baberghmidsuffolk.gov.uk>

**Sent:** 11 November 2021 13:40

**To:** BMSDC Planning Area Team Pink <PlanningPink@baberghmidsuffolk.gov.uk>

**Cc:** Vincent Pearce <Vincent.Pearce@baberghmidsuffolk.gov.uk>

**Subject:** (299852) DC/21/05820. Land Contamination

**EP Reference : 299852**

**DC/21/05820. Land Contamination**

**Land At Blackacre Hill, Bramford Road, Great Blakenham, IPSWICH, Suffolk.**

**Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction**

Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to land contamination.

Regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD

Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@baberghmidsuffolk.gov.uk](mailto:Nathan.pittam@baberghmidsuffolk.gov.uk)

Work: 01449 724715

websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

*I am working flexibly - so whilst it suits me to email now, I do not expect a response or action outside of your own working hours*

**From:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Sent:** 18 Nov 2021 01:29:37

**To:**

**Cc:**

**Subject:** FW: Consultation Request - DC/21/05820 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

**Attachments:**

**From:** James Fadeyi <James.Fadeyi@babberghmidsuffolk.gov.uk>

**Sent:** 16 November 2021 09:33

**To:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

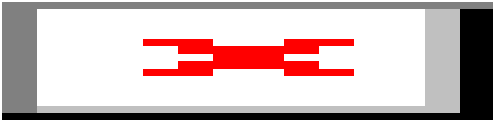
**Subject:** RE: Consultation Request - DC/21/05820 - Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Good Morning,

Thank you for your email re-consultation on the reserved matters application DC/21/05820. Waste services do not have no objection to this application.

Kind regards,

James Fadeyi  
Waste Management Officer - Waste Services  
Mid Suffolk and Babergh District Councils - Working Together  
Tel: 01449 724832  
Mob: 07523 942734  
e: James.Fadeyi@babberghmidsuffolk.gov.uk  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) | [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)  
<https://www.suffolkrecycling.org.uk/>



@suffolkrecycle on [Facebook](#), [Twitter](#), [Instagram](#)  
@FoodSavvySfk on [Facebook](#) and [Twitter](#)  
Subscribe to news and updates [here](#)

Dear Vincent,

APPLICATION FOR RESERVED MATTERS - DC/21/05820

Proposal: Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction of Phase 6 / Unit 6 Class B8 Warehouse building including ancillary office space, with car parking, loading/unloading areas, boundary landscaping and continuation of estate road

Location: Land At Blackacre Hill, Bramford Road, Great Blakenham, Suffolk

Many thanks for your request to comment on the Sustainability/Climate Change mitigation related aspects of this application.

Condition 14 relates to the sustainability of the original development and there is no details in the documents published to be able to comment apart from the lack of Electric vehicle charging provision. There is nothing shown on the site layout plan.

The sale of new fossil fuelled cars and vans will be prohibited in the UK from 2030. The number of electric vehicles on the roads in the UK is expanding exponentially and it has been recognised in the Suffolk County Council Climate Action Plan that the number of charging points will need to increase as well.

I would recommend that the applicant reviews the provision of electric vehicle charging points within the car park.

Regards,

Peter

Peter Chisnall, CEnv, MIEMA, CEnvH, MCIEH

Environmental Management Officer



Babergh and Mid Suffolk District Council - Working Together

Tel: 01449 724611

**From:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Sent:** 12 Nov 2021 10:19:06

**To:**

**Cc:**

**Subject:** FW: DC/21/05820. Air Quality

**Attachments:**

---

**From:** Nathan Pittam <Nathan.Pittam@babberghmidsuffolk.gov.uk>

**Sent:** 11 November 2021 13:44

**To:** BMSDC Planning Area Team Pink <PlanningPink@babberghmidsuffolk.gov.uk>

**Cc:** Vincent Pearce <Vincent.Pearce@babberghmidsuffolk.gov.uk>

**Subject:** DC/21/05820. Air Quality

**EP Reference : 299850**

**DC/21/05820. Air Quality**

**Land At Blackacre Hill, Bramford Road, Great Blakenham, IPSWICH, Suffolk.**

**Application for approval of Reserved Matters following Outline Planning Permission DC/20/03891 dated: 17/02/2021 - Appearance, Landscaping, Layout and Scale for the Construction ...**

Many thanks for your request for comments in relation to the above application. I can confirm that I have no comments to make with respect to Local Air Quality Management.

Regards

Nathan

**Nathan Pittam** BSc. (Hons.) PhD

Senior Environmental Management Officer

**Babergh and Mid Suffolk District Councils – Working Together**

Email: [Nathan.pittam@babberghmidsuffolk.gov.uk](mailto:Nathan.pittam@babberghmidsuffolk.gov.uk)

Work: 01449 724715

websites: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

*I am working flexibly - so whilst it suits me to email now, I do not expect a response or action outside of your own working hours*

From: Planning Department  
Sent: 27 October 2021 10:48  
To: BMSDC Planning Area Team Pink  
Subject: RE: MSDC Planning Consultation Request - DC/21/05820

Your Ref: DC/21/05820

Good Morning,

Thank you for your consultation on planning application DC/21/05820. Having screened the application, the site in question lies outside the Internal Drainage District of the East Suffolk Internal Drainage Board and as per our Planning and Byelaw Strategy the proposed application is classed as a minor development and does not meet our threshold for commenting. Therefore, the Board has no comments to make.

Kind Regards,  
Will

William Chandler BSc (Hons)  
Sustainable Development Officer  
Water Management Alliance

**From:** Planning Liaison  
**Sent:** 01 November 2021 14:43  
**To:** BMSDC Planning Area Team Pink  
**Subject:** RE: MSDC Planning Consultation Request - DC/21/05820

Good afternoon Vincent

Thank you for your email consultation on the reserved matters application DC/21/05820

This application is related to propose floor plans and elevations, therefore this application is outside of our jurisdiction to comment

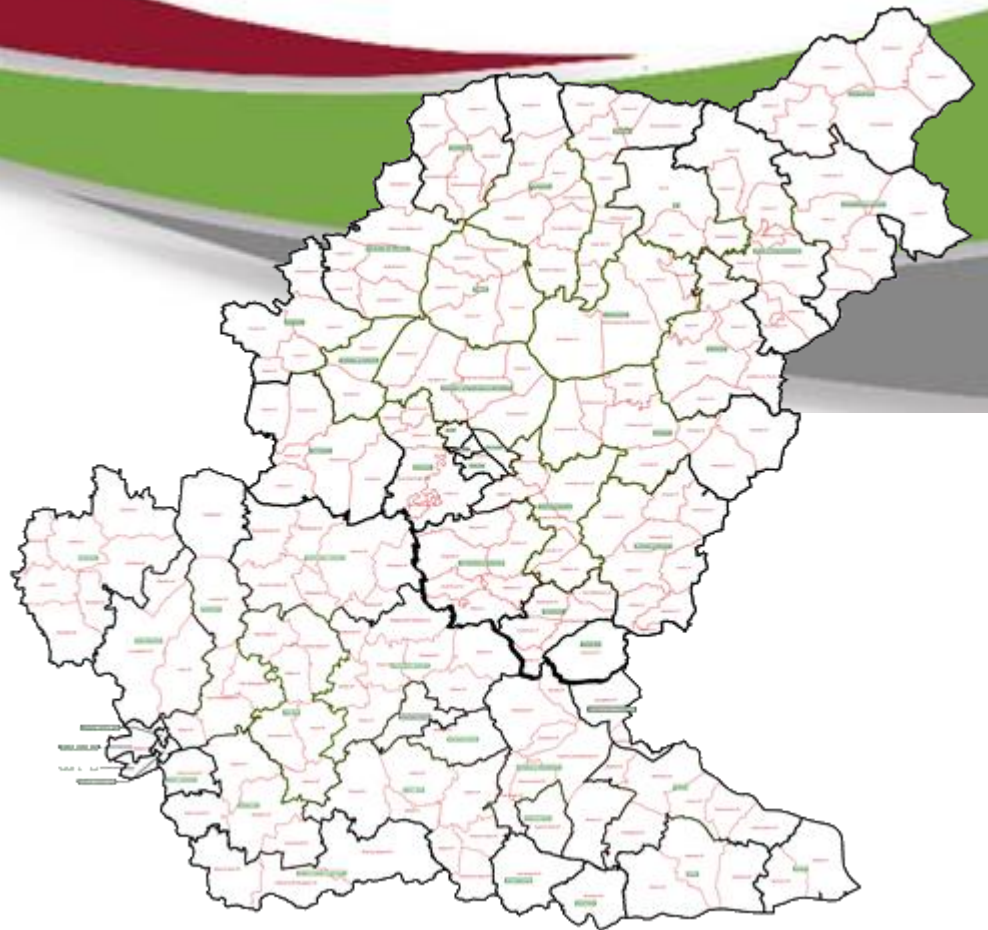
Kind regards

Sandra

Sandra De Olim  
Pre-Development Advisor

**Application No:**  
DC/21/05820

**Address:**  
Land At Blackacre Hill  
Bramford Road  
Great Blakenham





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Page 415

# Site Location Plan

Page 416





# Constraints Map

..... Footpath

Slide 5



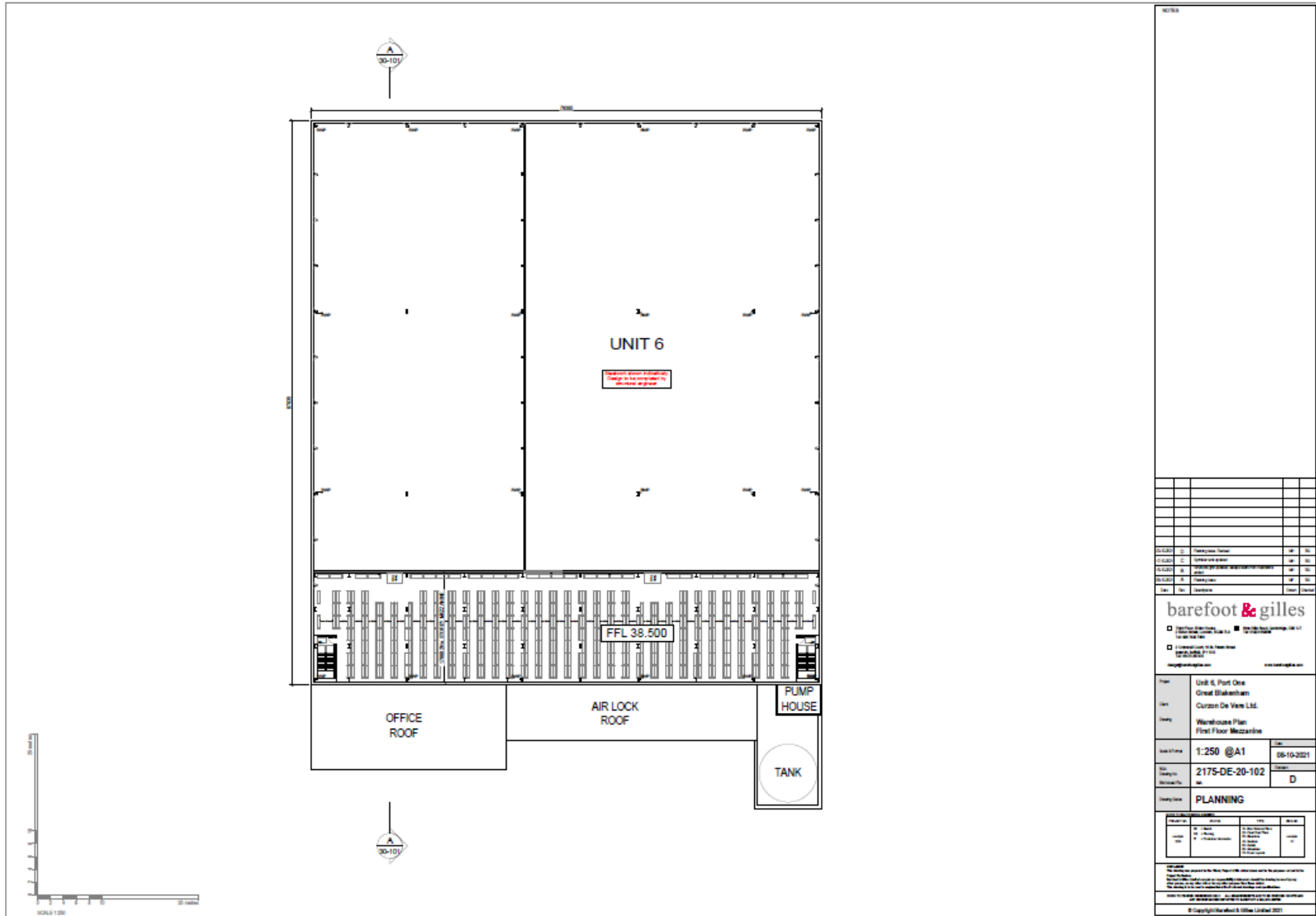
Page 417







# First Floor Mezzanine



Rev	Description	Date
1	Issue for Planning	08-10-2021

**barefoot & gilles**

Unit 6, Port One  
Great Blakenham  
Corson De Vries Ltd.

Warehouse Plan  
First Floor Mezzanine

Scale: 1:250 @A1  
Date: 08-10-2021

Project No: 2175-DE-20-102  
Sheet: D

Company: PLANNING

Rev	Description	Date
1	Issue for Planning	08-10-2021

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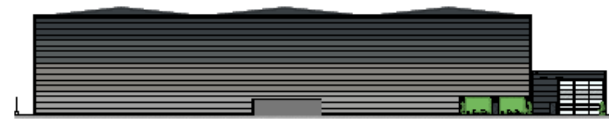




# Elevations and Section



01 East Elevation  
90-107 Scale: 1:300



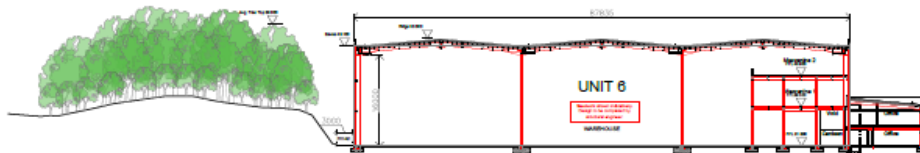
03 South Elevation  
90-107 Scale: 1:300



02 West Elevation  
90-107 Scale: 1:300



04 North Elevation  
90-107 Scale: 1:300



05 Typical Section AA  
90-107 Scale: 1:300

- KEY TO CLADDING MATERIALS**
- Metal panel cladding: Anthracite RAL7016
  - Metal panel cladding: Slate Grey RAL7012
  - Metal panel cladding: Alaskan Grey RAL7033
  - Metal panel cladding: Ocean Grey RAL7025
  - Metal panel cladding: White RAL9003
  - Metal panel roofing: Anthracite Matt RAL7016
  - Clear glazed panels
  - Opaque glazed panels
  - Precast concrete wall to truck yard

01-001	1	Overall Site Planning	AP	08/10
01-002	2	Site Plan	AP	08/10
01-003	3	Access and Easement	AP	08/10
01-004	4	Landmark Planning Form	AP	08/10
01-005	5	Site Plan	AP	08/10
01-006	6	Planning	AP	08/10
01-007	7	Planning	AP	08/10
01-008	8	Planning	AP	08/10
01-009	9	Planning	AP	08/10
01-010	10	Planning	AP	08/10

<b>barefoot &amp; gilles</b>	
<input type="checkbox"/> Barefoot & Gilles 2175-DE-30-101 2175-DE-30-101 2175-DE-30-101	
<input checked="" type="checkbox"/> Elevation & Section Unit 6, Part One Great Blakenham Curzon De Vaux Ltd. Elevations & Sections	
Date: 08-10-2021 Scale: 1:350 @A1 Drawing No: 2175-DE-30-101 Drawing Title: PLANNING	Author: [blank] Designer: [blank] Checker: [blank] Approver: [blank]

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# Typical Site Sections

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